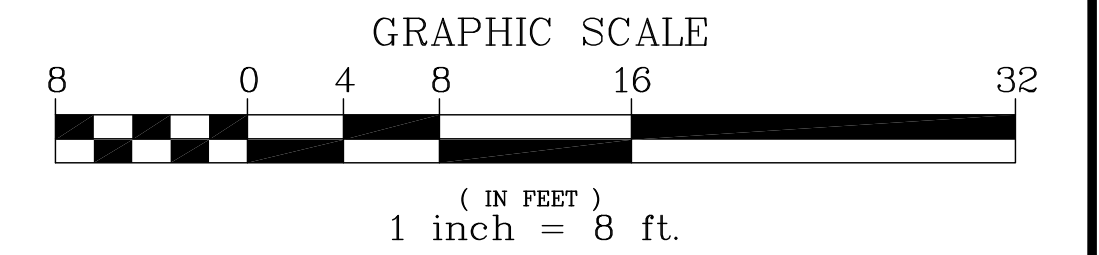


NOTES

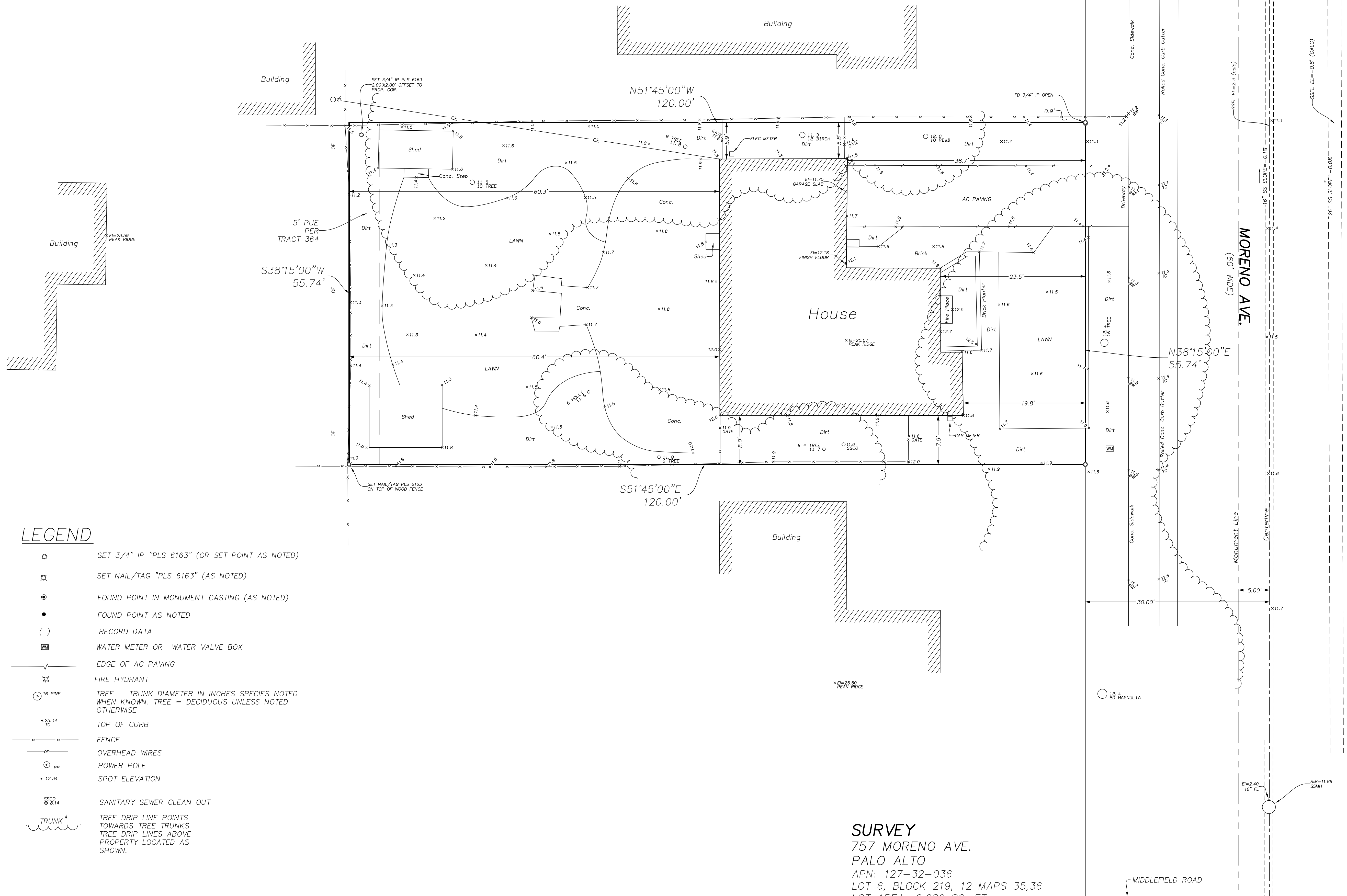
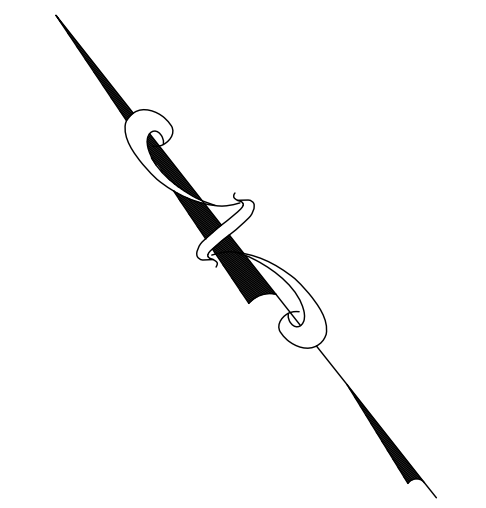
ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
 BOUNDARY CONTROL: SEE CONCURRENT CORNER RECORD
 MAP REFERENCE: 12 MAPS 30 & 31.
 UNDERGROUND UTILITY - LOCATION IS BASED ON SURFACE EVIDENCE.
 BUILDING LOCATION DIMENSIONS ARE MEASURED PERPENDICULAR TO THE PROPERTY LINES.
 DIMENSIONS TO THE BUILDING ARE TAKEN AT THE EXTERIOR FINISHED SURFACE. (STUCCO/SIDING)
 FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
 BENCHMARK: CITY OF PALO ALTO BENCHMARK #2137 ELEVATION: 8.32 1929 DATUM.

ABBREVIATIONS

AC ASPHALT
 BW BACK OF WALK
 CONC. CONCRETE
 TC TOP OF CURB
 FL FLOW LINE
 SSMH SANITARY SEWER MANHOLE
 P.U.E PUBLIC UTILITY EASEMENT



12-13-2013

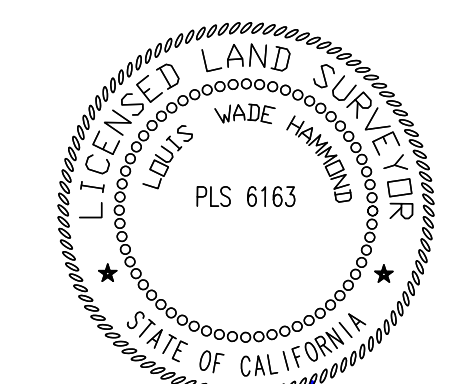


LEGEND

- SET 3/4" IP "PLS 6163" (OR SET POINT AS NOTED)
- ⊗ SET NAIL/TAG "PLS 6163" (AS NOTED)
- FOUND POINT IN MONUMENT CASTING (AS NOTED)
- FOUND POINT AS NOTED
- () RECORD DATA
- ⊞ WATER METER OR WATER VALVE BOX
- EDGE OF AC PAVING
- ⊞ FIRE HYDRANT
- 16 PINE TREE - TRUNK DIAMETER IN INCHES SPECIES NOTED WHEN KNOWN. TREE = DECIDUOUS UNLESS NOTED OTHERWISE
- +25.34 TOP OF CURB
- FENCE
- OVERHEAD WIRES
- ⊞ POWER POLE
- + 12.34 SPOT ELEVATION
- SSCO 8.34 SANITARY SEWER CLEAN OUT
- TRUNK TREE DRIP LINE POINTS TOWARDS TREE TRUNKS. TREE DRIP LINES ABOVE PROPERTY LOCATED AS SHOWN.

SURVEY

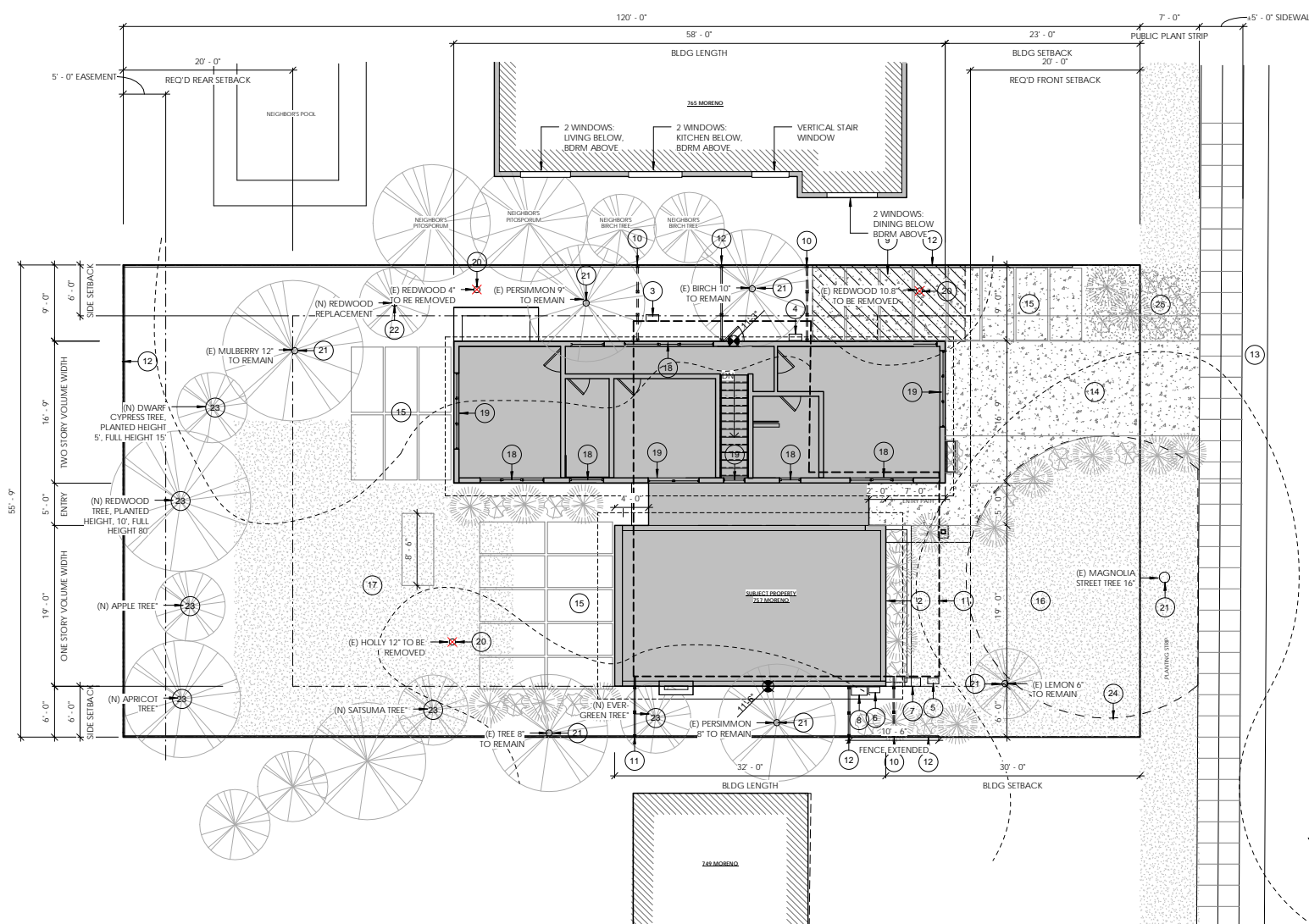
757 MORENO AVE.
 PALO ALTO
 APN: 127-32-036
 LOT 6, BLOCK 219, 12 MAPS 35,36
 LOT AREA: 6,689 SQ. FT



L. Wade Hammond
 Licensed Land Surveyor
 No. 6163
 36660 Newark Blvd. Suite C
 Newark, California 94560
 Tel: (510) 579-6112 Fax: (510) 991-8054
 wade@wadehammondpls.com



2 STREET ELEVATION
1/8" = 1'-0"



1 SITE PLAN
1/8" = 1'-0"

SITE PLAN LEGEND

- (E) BLDG FOOTPRINT
- (P) ADDITION
- GAS METER
- ELECTRIC METER
- WATER CONNECTION
- PROPERTY LINE
- SETBACK LINE
- (E) TREE DRIP LINE

SITE PLAN KEYNOTES

- 1 (E) BUILDING FOOTPRINT, SHOWN DASHED
- 2 (N) BUILDING FOOTPRINT, SHOWN SHADED
- 3 (E) ELECTRICAL METER
- 4 (N) ELECTRICAL METER
- 5 (E) GAS METER
- 6 (N) GAS METER
- 7 (E) WATER METER
- 8 (N) WATER METER
- 9 OUTDOOR PARKING SPACE 9'-0" X 18'-0"
- 10 (E) WOOD FENCE TO BE REMOVED
- 11 (E) WOOD FENCE RECONSTRUCTED
- 12 (N) WOOD FENCE TO BE CONSTRUCTED
- 13 ROLLED CURB
- 14 (N) PERMEABLE PAVING DRIVEWAY
- 15 (N) CONCRETE PAVERS, W/GROUND COVER
- 16 (N) DRY GARDEN
- 17 (N) ASTROTURF W/DRAINAGE BELOW
- 18 PRIVACY WINDOWS: 6'-0" SILL
- 19 VIEW WINDOWS: 3'-0" SILL
- 20 (E) TREE TO BE REMOVED
- 21 (E) TREE TO REMAIN
- 22 (E) TREE TO BE REPLACED
- 23 (N) TREE
- 24 TREE PROTECTION ZONE: 16'-8" RADIUS (20X TRUNK RADIUS)
- 25 MOUNDED LANDSCAPE

MORENO AVE RESIDENCE

757 Moreno Avenue
Palo Alto, CA 94303

JOB NO. 14-001
APN NO.

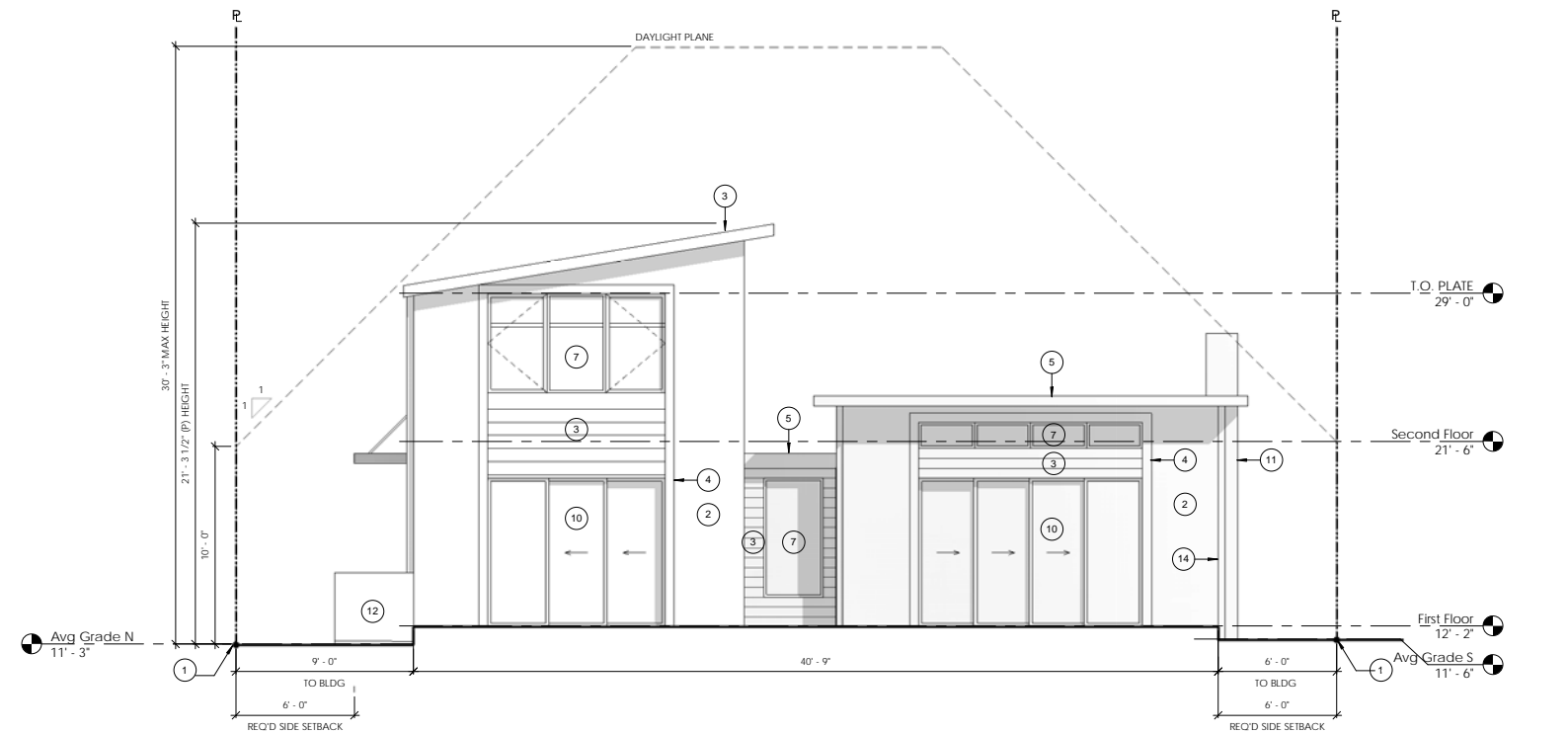
CURRENT RELEASE DATE:
2015.01.08
CURRENT RELEASE SET:
INDIVIDUAL REVIEW
PREVIOUS RELEASE
1 INDIVIDUAL REVIEW 2014.07.14

SHEET TITLE
SITE PLAN

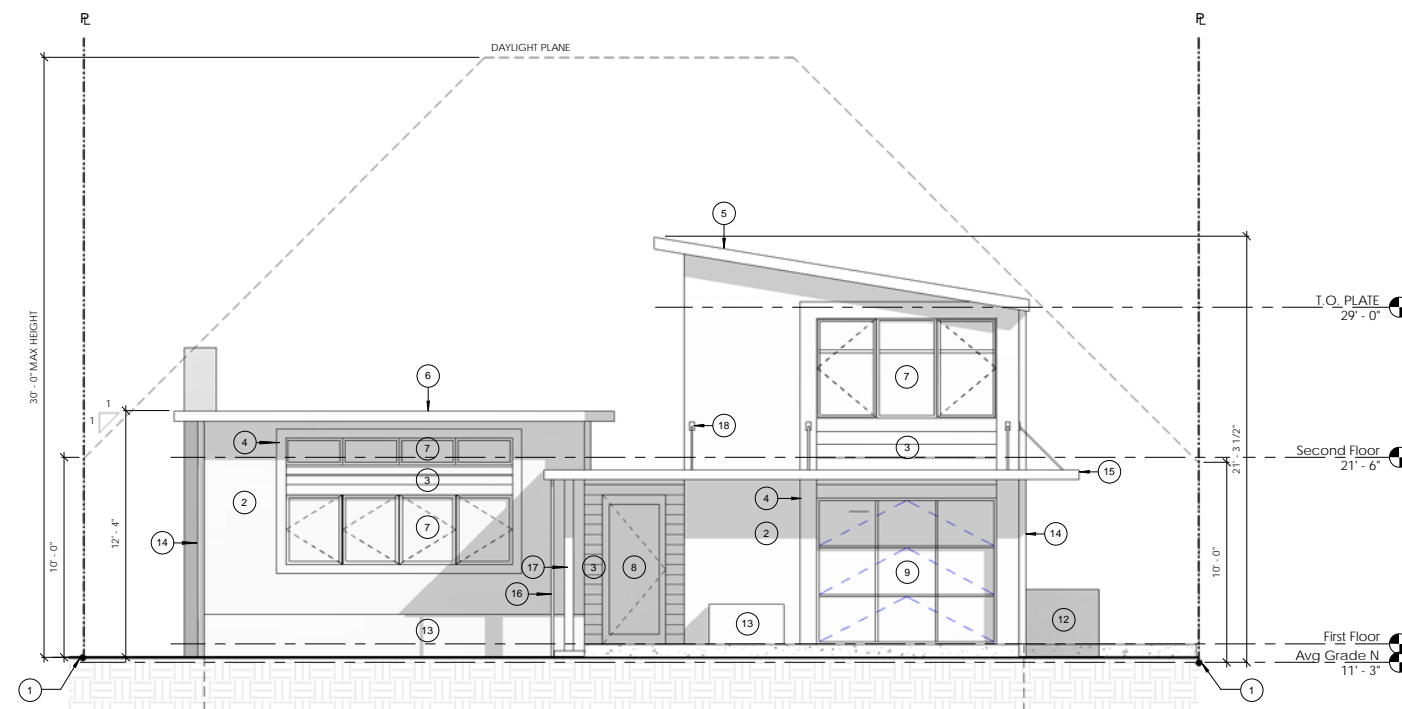
A1.10

(P) ELEVATION KEYNOTES

- 1 GRADE FOR THE PURPOSE OF ESTABLISHING DAYLIGHT PLANE SHALL BE AVERAGE GRADE AT MIDPOINT OF THE BUILDING AND GRADE AT THE CLOSEST POINT TO ADJACENT LOT. 11'-3" ON NORTH SIDE, 11'-6" ON SOUTH SIDE. SEE SITE PLAN FOR SPOT ELEVATIONS
- 2 SMOOTH STUCCO SIDING
- 3 CEDAR SIDING
- 4 PAINTED WOOD TRIM
- 5 ASPHALT SHINGLE ROOF W/PAINTED WOOD FASCIA
- 6 LOW SLOPE TPO ROOF WITH PAINTED WOOD FASCIA
- 7 WOOD CLAD WINDOWS
- 8 WOOD CLAD GLASS ENTRY DOOR
- 9 WOOD CLAD GLASS GARAGE DOOR
- 10 WOOD CLAD GLASS SLIDING DOORS
- 11 STUCCO SIDING @ CHIMNEY
- 12 SMOOTH CONCRETE LIGHT WELL GUARDRAIL
- 13 SMOOTH CONCRETE PLANTER
- 14 PAINTED GSM DOWNSPOUT
- 15 WOOD AND METAL AWNING
- 16 RAINCHAIN
- 17 METAL COLUMN
- 18 METAL AWNING SUPPORT



2 (P) North
1/4" = 1'-0"



1 (P) South
1/4" = 1'-0"

MORENO AVE RESIDENCE

757 Moreno Avenue
Palo Alto, CA 94303

JOB NO. 14-001
APP. NO.

CURRENT RELEASE DATE:
2015.01.08

CURRENT RELEASE SET:
INDIVIDUAL REVIEW

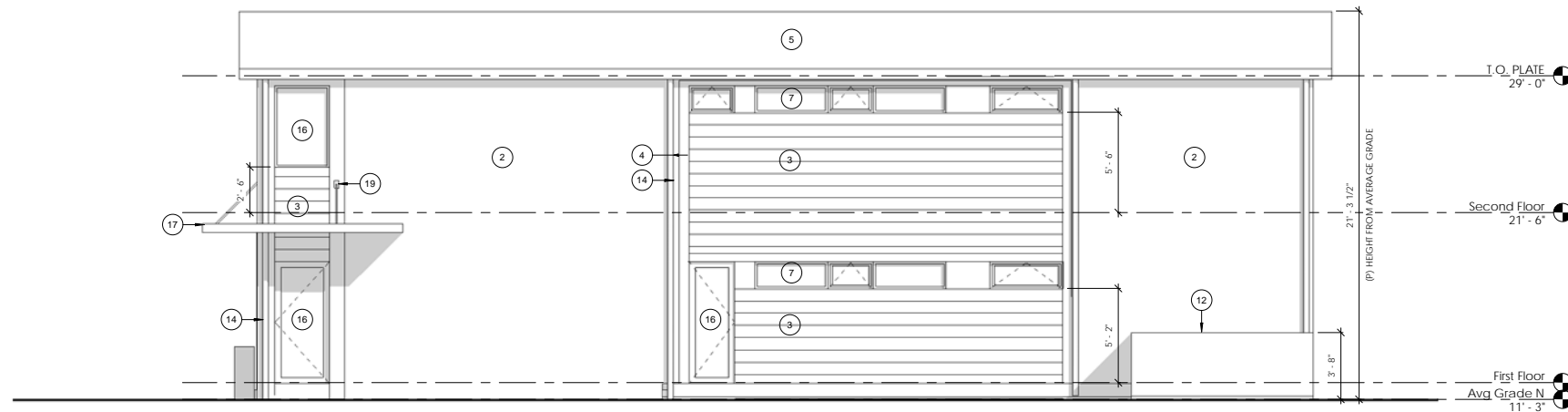
PREVIOUS RELEASE
1 INDIVIDUAL REVIEW 2014.07.14

SHEET TITLE
PROPOSED
ELEVATIONS

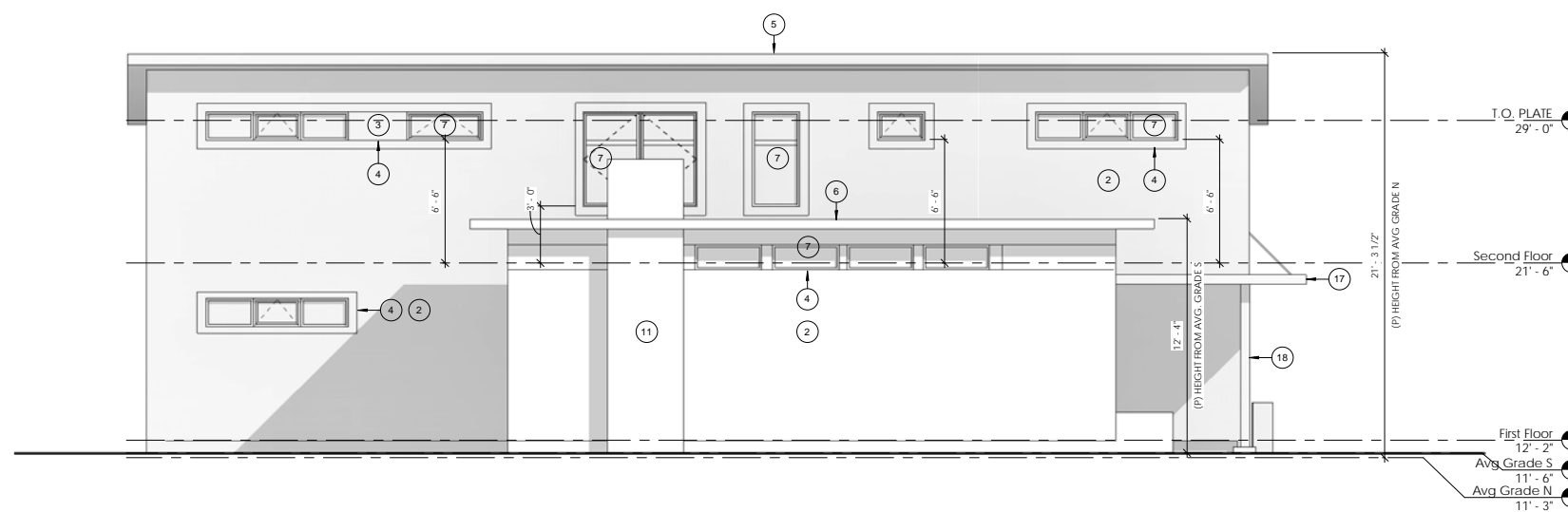
A3.10

(P) ELEVATION KEYNOTES

- 1 GRADE FOR THE PURPOSE OF ESTABLISHING DAYLIGHT PLANE SHALL BE AVERAGE GRADE AT MIDPOINT OF THE BUILDING AND GRADE AT THE CLOSEST POINT TO ADJACENT LOT
- 2 SMOOTH STUCCO SIDING
- 3 CEDAR SIDING
- 4 PAINTED WOOD TRIM
- 5 ASPHALT SHINGLE ROOF W/PAINTED WOOD FASCIA
- 6 LOW SLOPE TPO ROOF WITH PAINTED WOOD FASCIA
- 7 WOOD CLAD WINDOWS
- 8 WOOD CLAD GLASS ENTRY DOOR
- 9 WOOD CLAD GLASS GARAGE DOOR
- 10 WOOD CLAD GLASS SLIDING DOORS
- 11 STUCCO SIDING @ CHIMNEY
- 12 SMOOTH CONCRETE LIGHT WELL GUARDRAIL
- 13 SMOOTH CONCRETE PLANTER
- 14 PAINTED GSM DOWNSPOUT
- 15 NOT USED
- 16 FROSTED GLASS FOR PRIVACY
- 17 WOOD AND METAL AWNING
- 18 METAL COLUMN
- 19 METAL AWNING SUPPORT



2 (P) East
1/4" = 1'-0"



1 (P) West
1/4" = 1'-0"

MORENO AVE RESIDENCE

757 Moreno Avenue
Palo Alto, CA 94303

JOB NO. 14-001
APN NO.

CURRENT RELEASE DATE:
2015.01.08
CURRENT RELEASE SET:
INDIVIDUAL REVIEW
PREVIOUS RELEASE
1 INDIVIDUAL REVIEW 2014.07.14

SHEET TITLE
PROPOSED
ELEVATIONS

A3.11