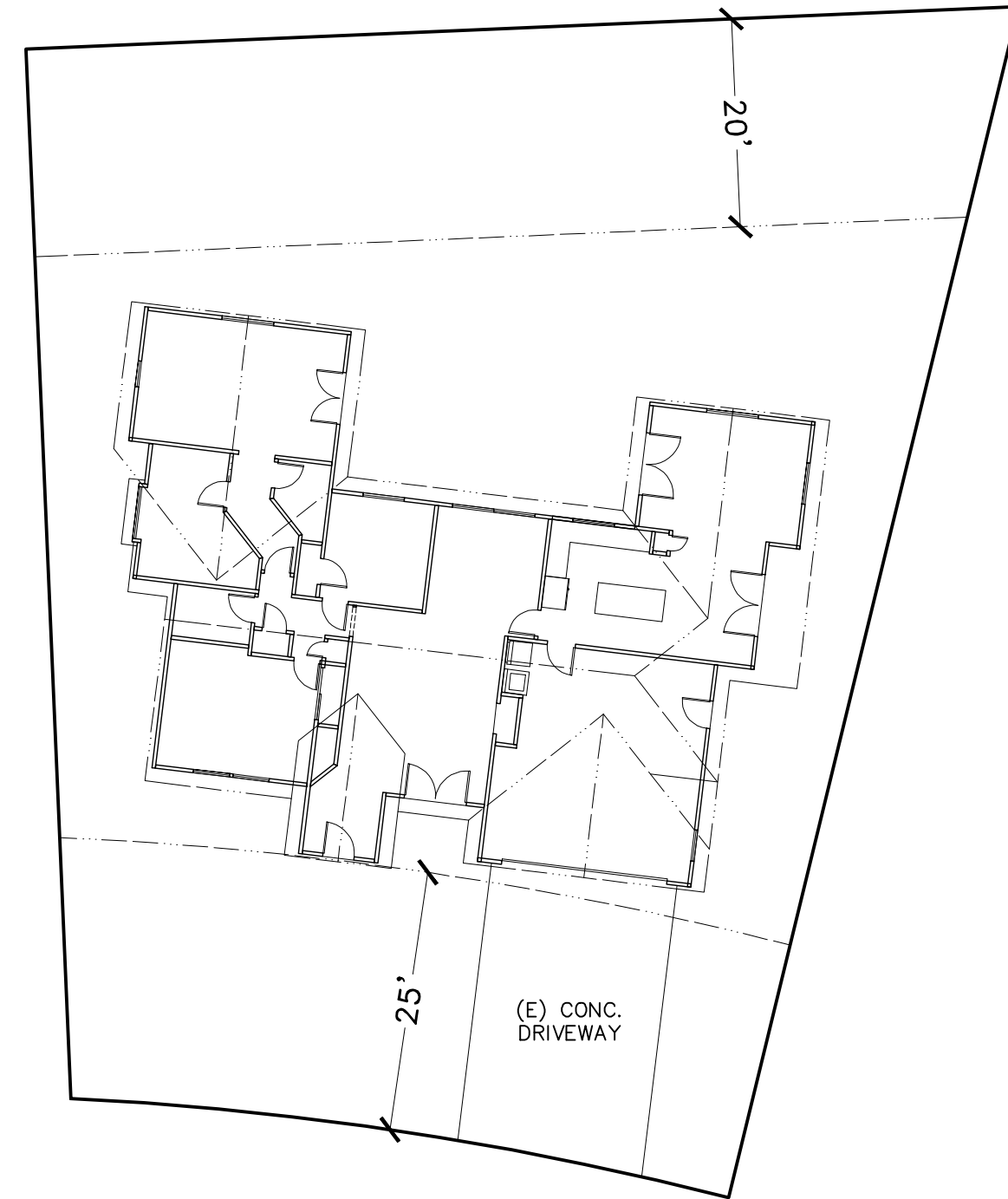
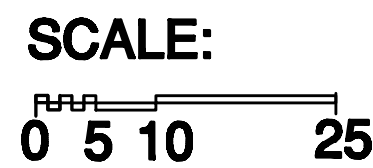


SANDY XIA RESIDENCE, 720 MONTROSE AVE., PALO ALTO, CA 94303

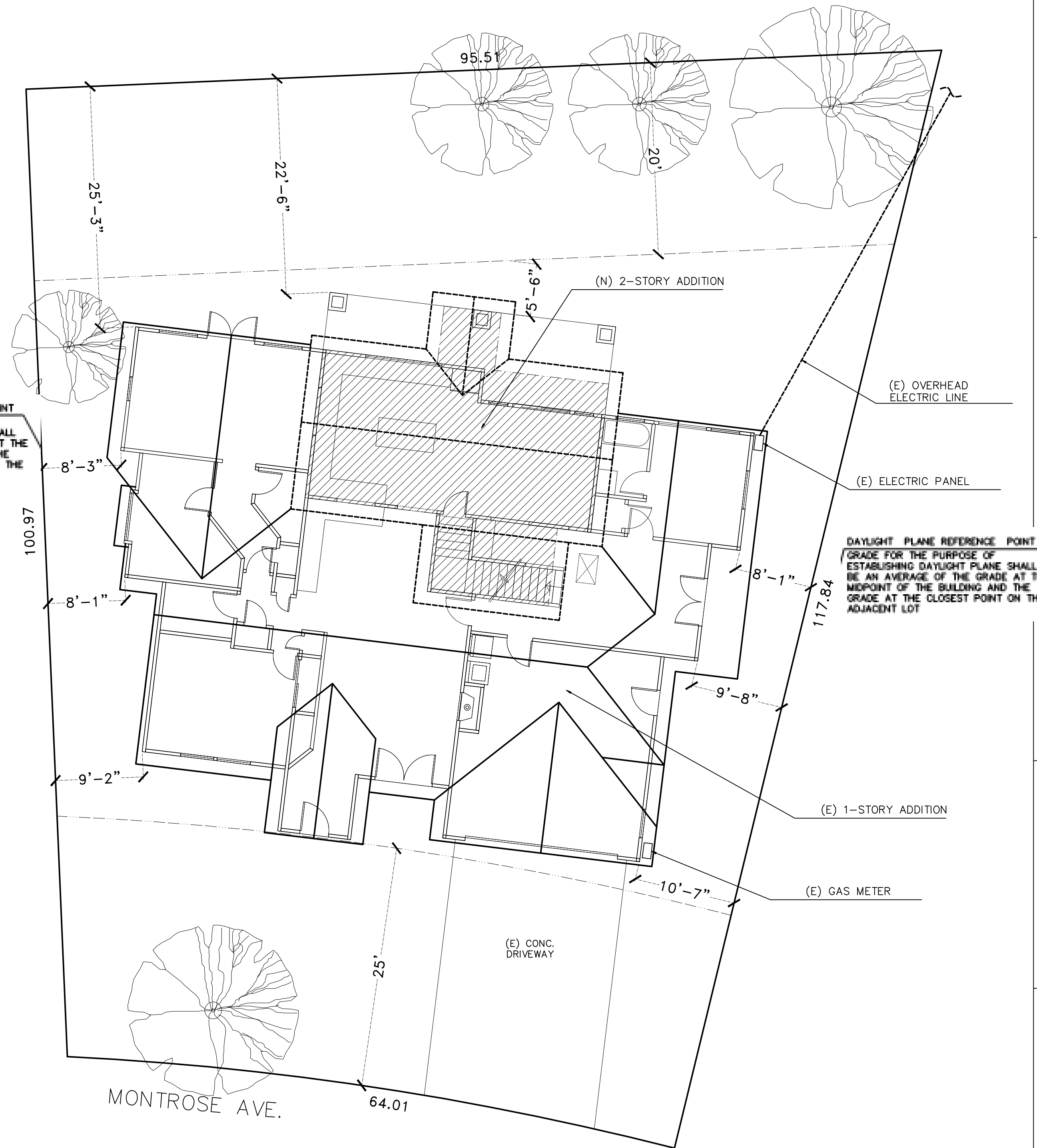
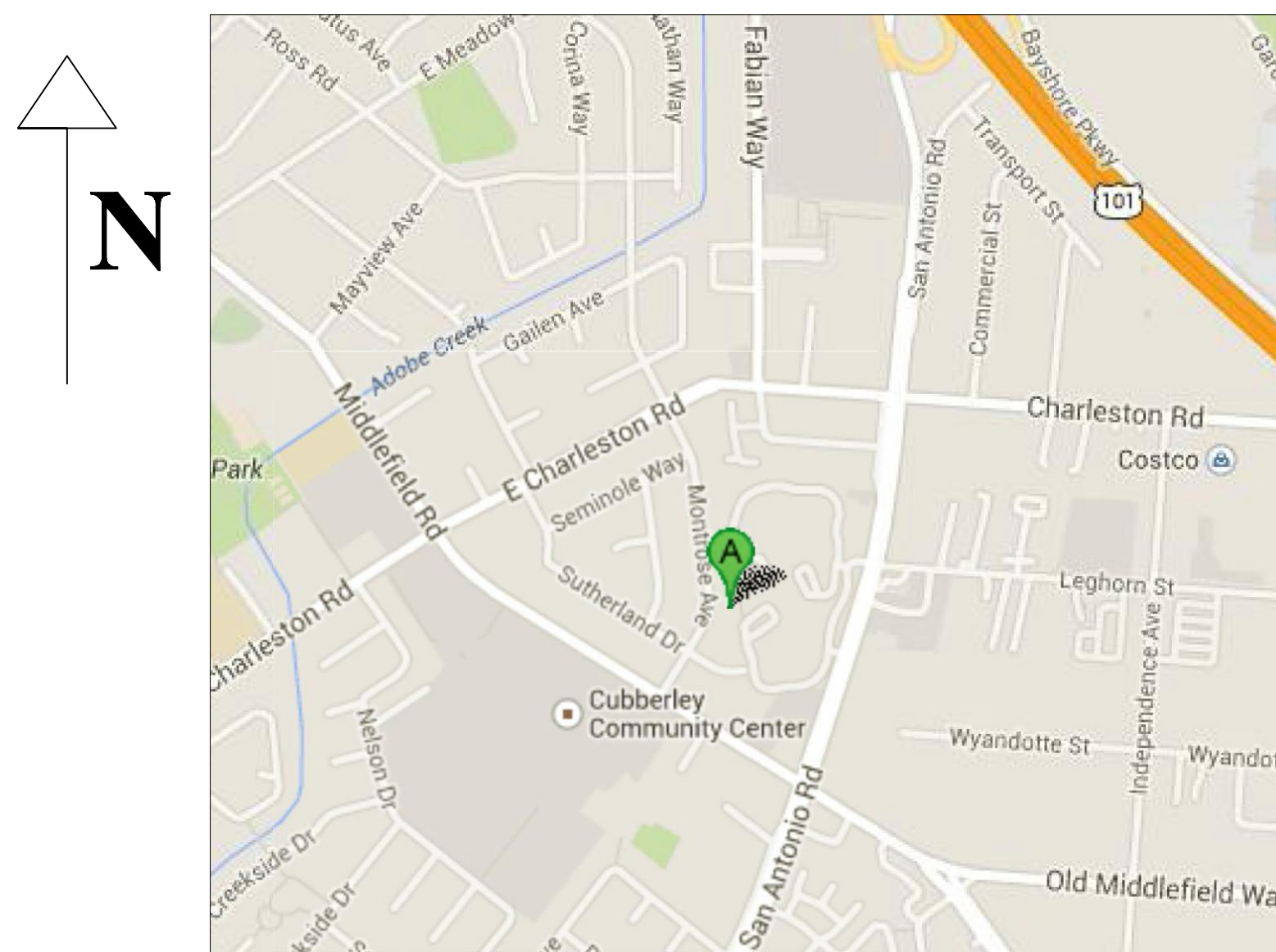


EXISTING SITE PLAN

1/16" = 1'-0"

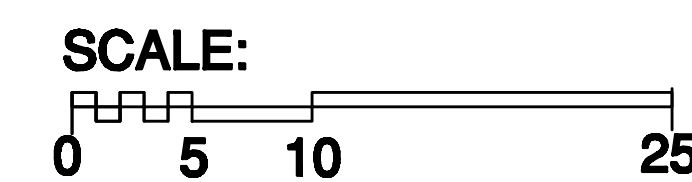


VICINITY MAP



SITE PLAN

1/8" = 1'-0"



NOTE:
NO TREES ARE PROPOSED FOR REMOVAL FOR THE NEW ADDITION WORK

SCOPE OF WORK

2 STORY ADDITION TO (E) 1-STORY HOME

PROJECT INFORMATION

ADDRESS : 720 MONTROSE AVE.
 A.P.N. : 127-18-018
 ZONING DISTRICT : R 1
 SIZE OF LOT : 8720 SQ. FT.
 OCCUPANCY GROUP : R-8, U-1
 CONTEXTUAL SETBACK : NO
 FLOOD ZONE : NO
 GARAGE SUBJECT TO CONTEXTUAL PLACEMENT : NO
 CONSTRUCTION TYPE : VB
 APPLICABLE CODES: 2018 CALIFORNIA RESIDENTIAL CODE
 2018 CALIFORNIA BUILDING CODE
 2018 CALIFORNIA FIRE CODE
 2018 CALIFORNIA PLUMBING CODE
 2018 CALIFORNIA MECHANICAL CODE
 2018 CALIFORNIA ELECTRICAL CODE
 CITY OF PALO ALTO ORDINANCES

TABULATIONS

NET LOT AREA	8720 SF	
	Proposed	Max. Allowed
LOT COVERAGE		
1st Floor :	2232 SF	
Garage :	428 SF	
Total :	2660 SF	Max. 2960 SF 35 %
FLOOR AREA RATIO		
2nd Floor :	607 SF	
1st Floor :	2232 SF	
Garage :	428 SF	
Total :	3267 SF	Max. 3278 SF 40 %
SETBACKS		
Front :	25'-0"	20' Min. Required
Rear :	22'-6"	20' Min. Required
Right side :	8'-1"	6' Min. Required
Left side :	8'-1"	6' Min. Required
HEIGHTS	24'-2.5"	30 FT

NOTE: SEE FLOOR PLAN AREA CALCULATIONS ON SHEET A10

PROJECT CONTACTS

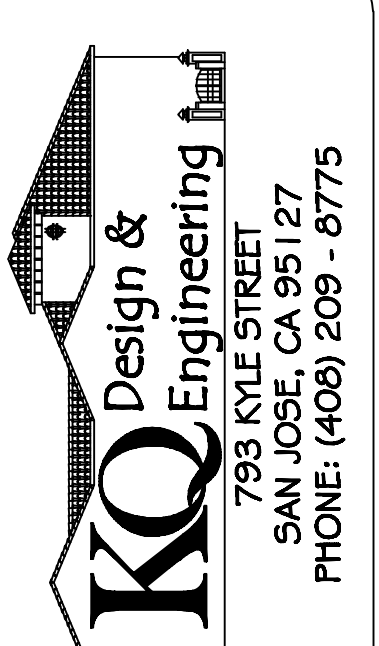
OWNER
SANDY XIA

DESIGNER AND STRUCTURAL ENGINEER
KET LE
793 KYLE STREET, SAN JOSE, CA 95127
(408) 209 - 8775 CELL
(408) 258 - 4614 OFFICE / FAX

SHEET INDEX

- A-1 PROJECT DATA / SITE PLAN
- A-2 NEIGHBORHOOD CONTEXT
- A-3 EXISTING FLOOR PLAN
- A-4 (E) ELEVATIONS
- A-5 FIRST FLOOR PLAN
- A-6 SECOND FLOOR PLAN
- A-7 ELEVATIONS- FRONT AND REAR
- A-8 ELEVATIONS - RIGHT, LEFT SIDE
- A-9 ARCHITECTURAL DETAILS
- A-10 FLOOR AREA CALCULATION
- A-11 SECTIONS
- A-13 ROOF PLAN
- GB-1 GREEN BUILDING PROGRAM PLAN
- SV-1 SPOT ELEVATION SURVEY AND DRAINAGE PLAN
- T-1 TREE PROTECTION PLAN

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Residential Addition And Remodel for:
Sandy Xia
720 Montrose Ave.
Palo Alto, CA 94303
Project Data/Site Plans

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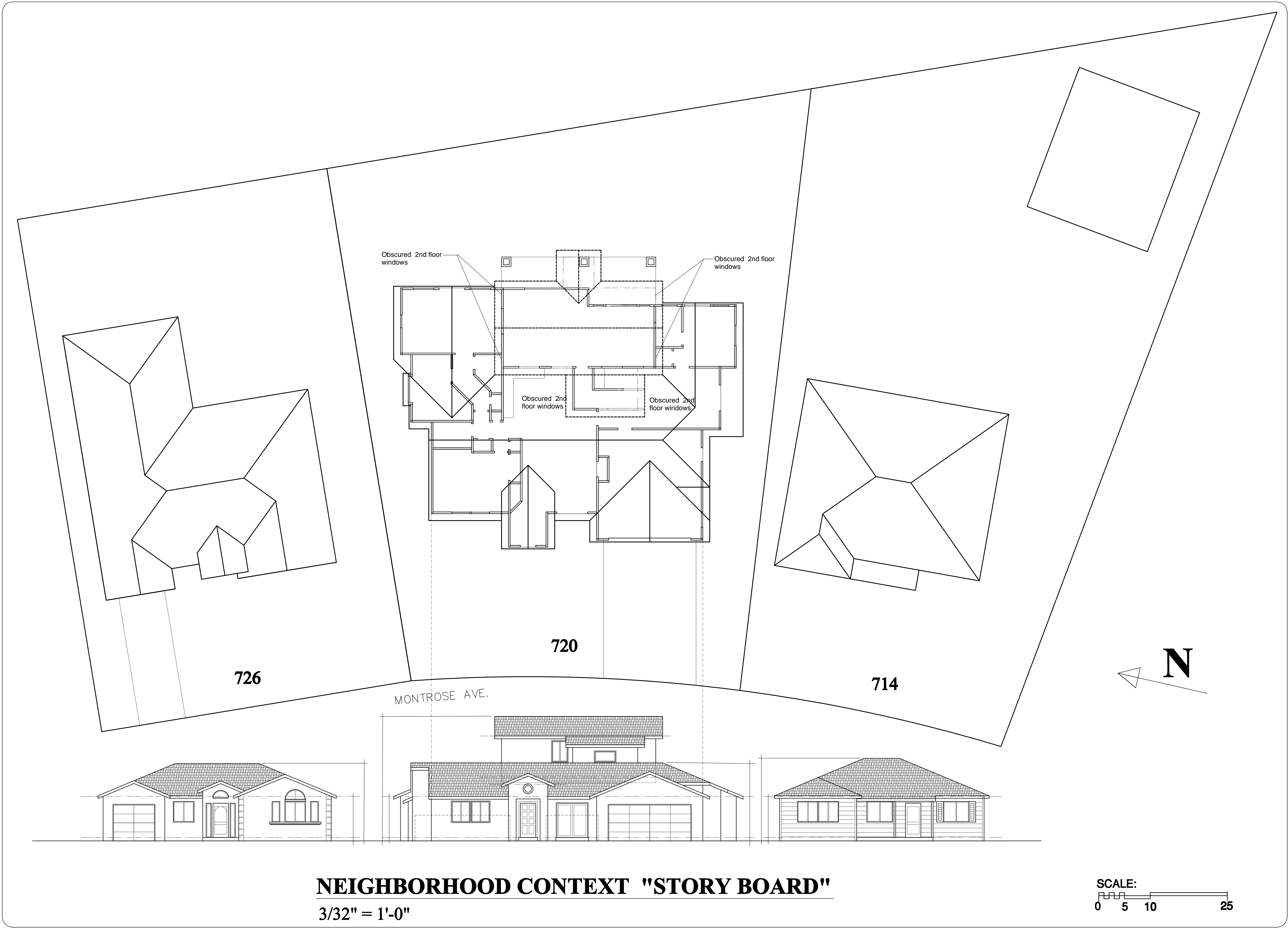


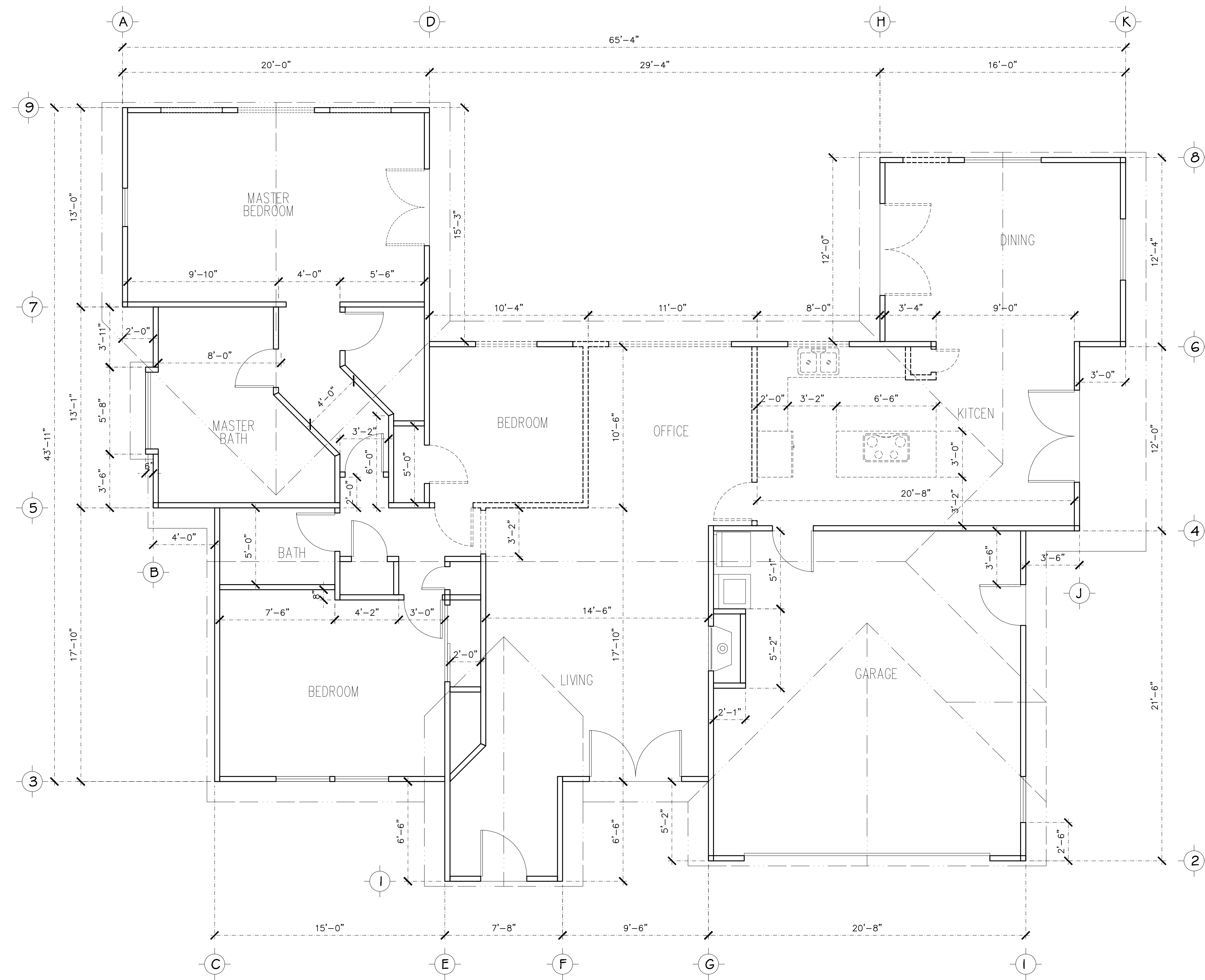
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Residential Addition And Remodel for:
 Sandy Xia
 720 Montrose Ave.
 Palo Alto, CA 94303
 Neighborhood Context "Story Board"

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EXISTING FLOOR PLAN

WALL LEGEND :

- EXISTING WALL TO BE REMAIN
- EXISTING WALL TO BE REMOVED

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KG Design & Engineering
 793 KYLE STREET
 SAN JOSE, CA 95127
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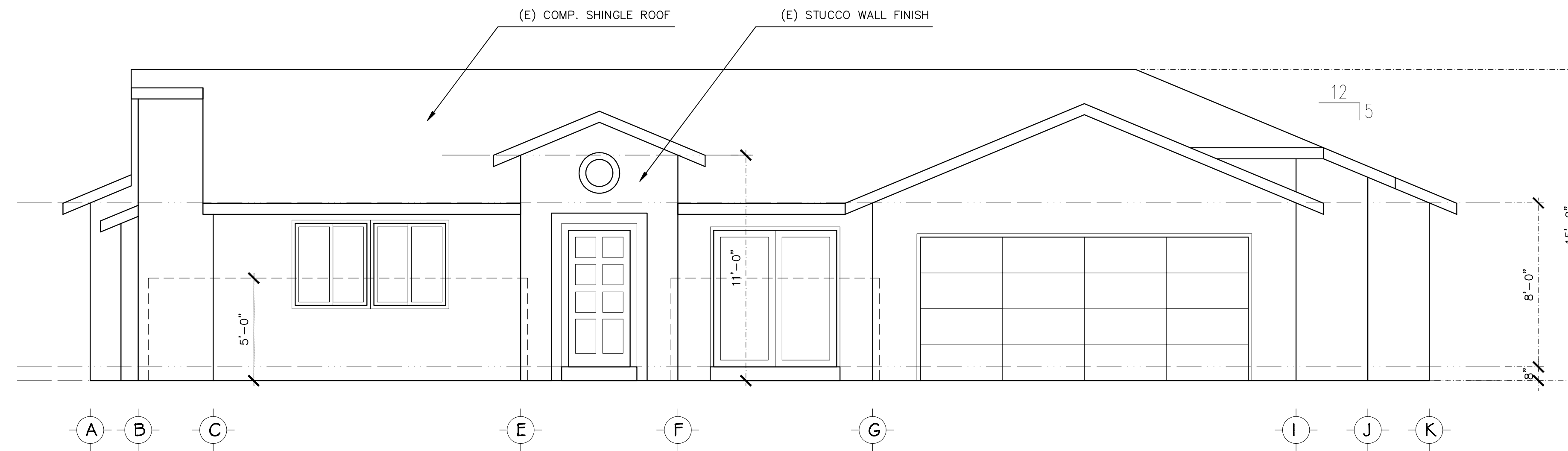


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Residential Addition and Remodel for:
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 Palo Alto, CA 94303
Existing Floor Plan

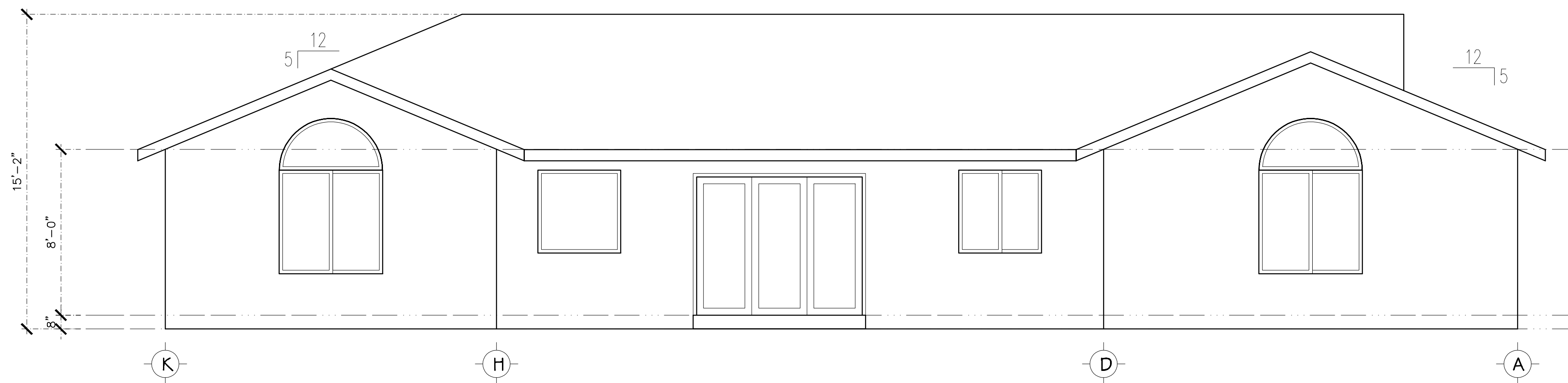
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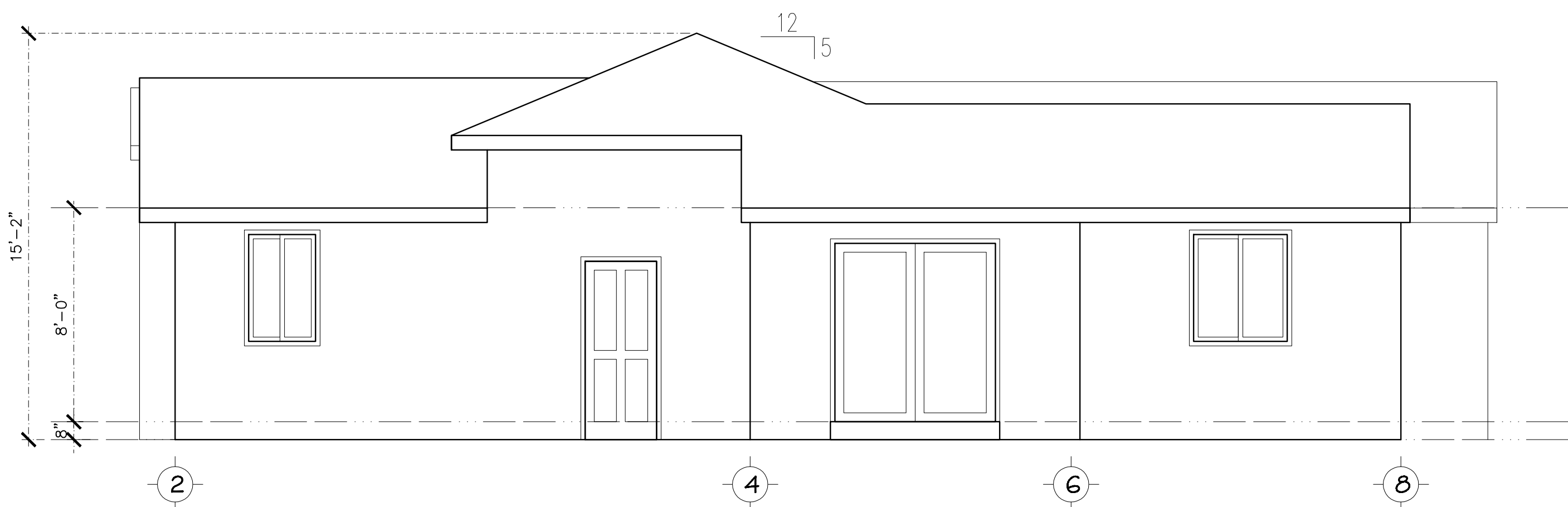
(E) FRONT ELEVATION

1/4" = 1'-0"



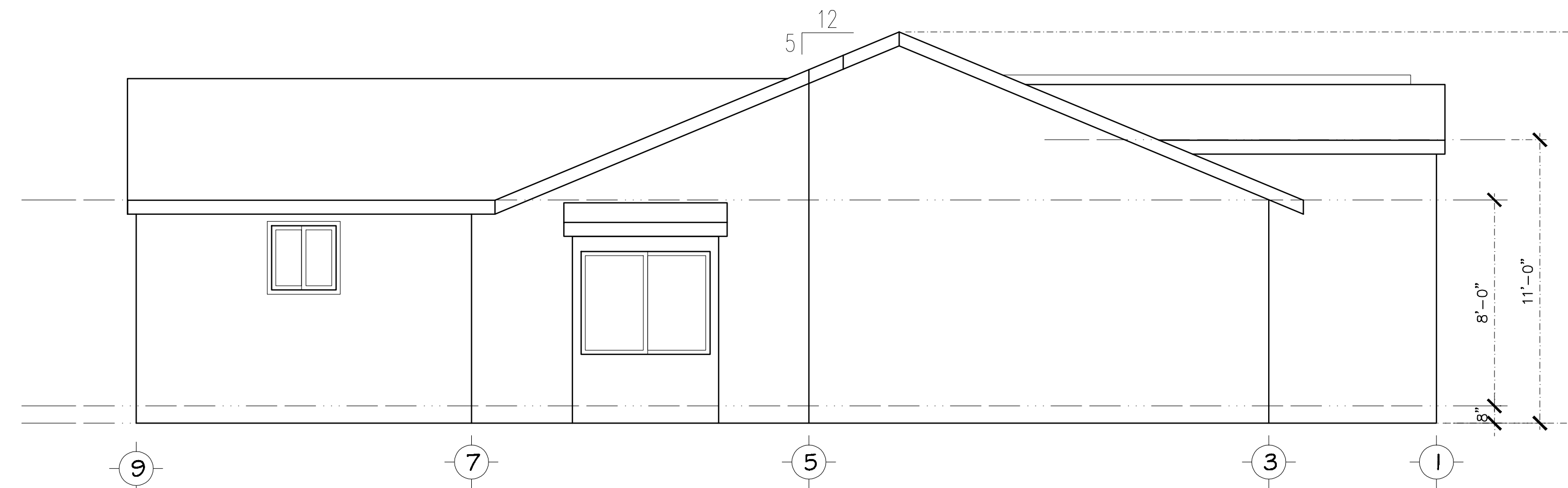
(E) REAR ELEVATION

1/4" = 1'-0"



(E) RIGHT SIDE ELEVATION

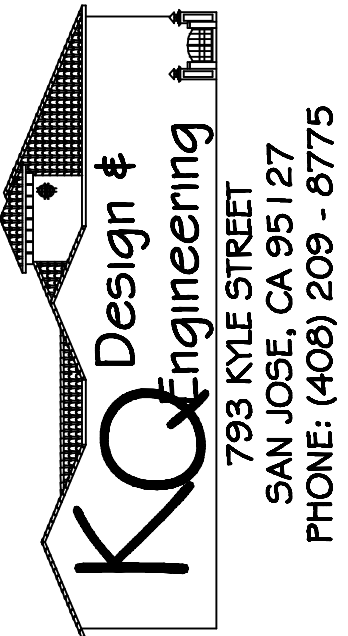
1/4" = 1'-0"



(E) LEFT SIDE ELEVATION

1/4" = 1'-0"

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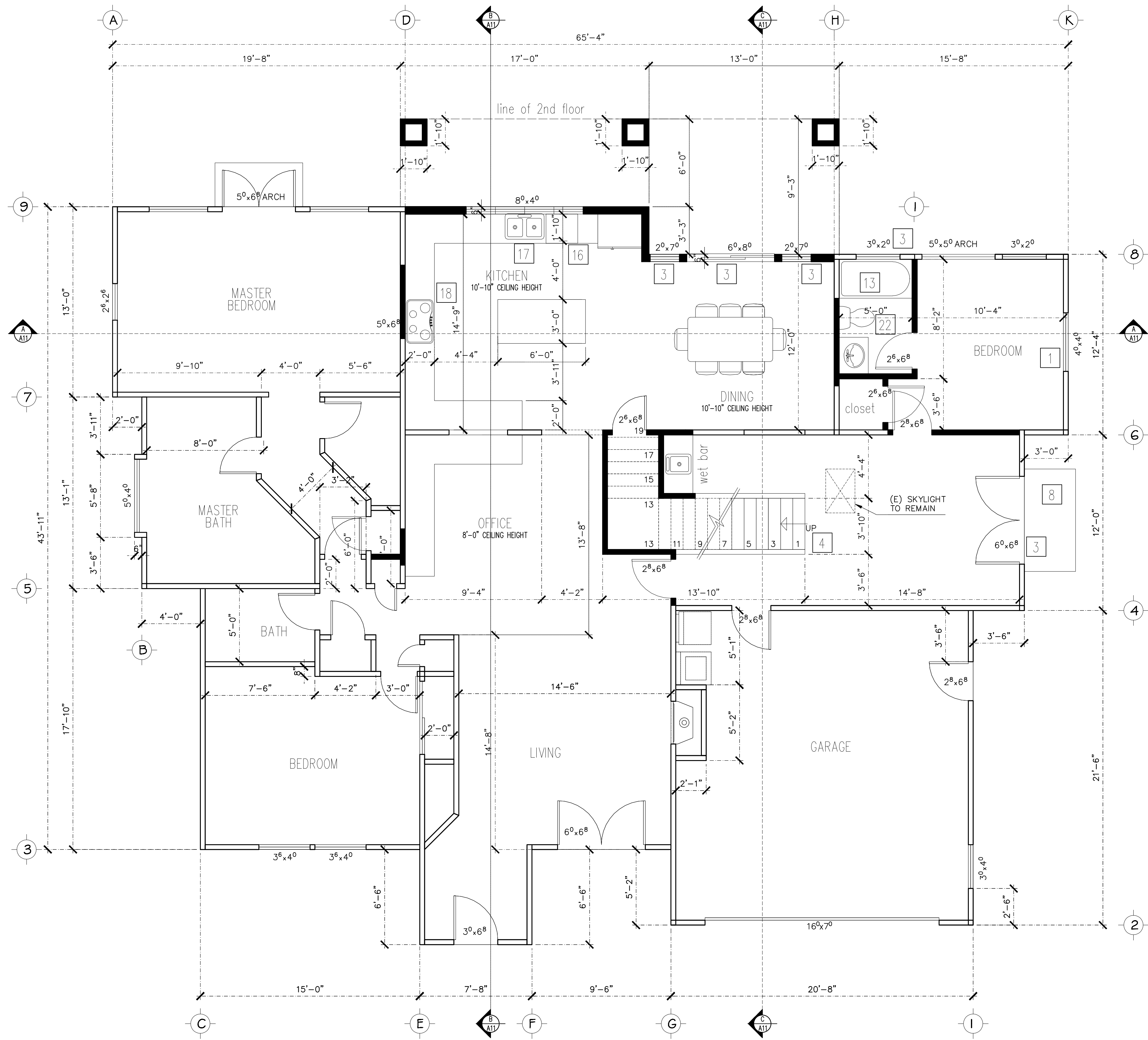


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Residential Addition and Remodel for:
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Palo Alto, CA 94303
Existing Elevations

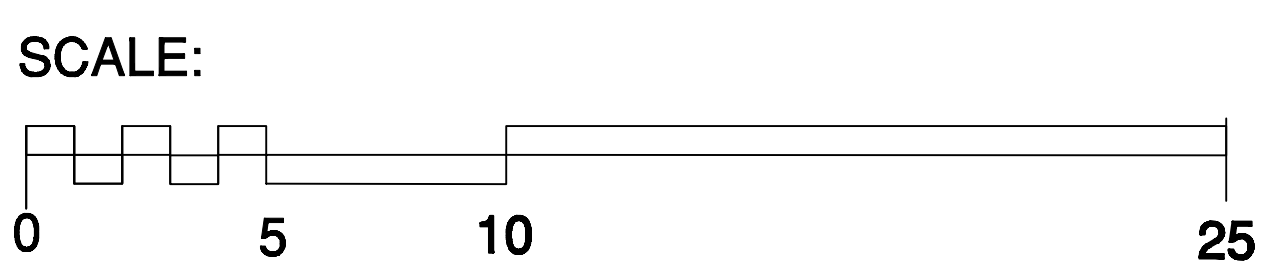
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1ST FLOOR PLAN

1/4" = 1'-0"



WALL LEGEND :

	DENOTES (E) WALL
	DENOTES (N) WALL

- ### FLOOR PLAN KEYNOTES
- Bedroom window shall be an egress window to have a minimum net clear opening of 5.7 square feet, and 5.0 sf for grade floor openings minimum net clear opening height of 24 inches; and minimum net clear opening width of 20 inches, sill height not more than 44 inches above the floor. See detail 18/A9
 - All window shall be sliding windows unless noted otherwise on plan. Style of window shall be selected by owner.
 - Tempered safety glass required at these glazing locations per CBC 2406.3: in egress doors and egress doors in sliding or swinging doors, doors and enclosure for hot tub, bathtub, showers, glazing in walls within 5'-0" of standing surface, glazing that is within 2'-0" of vertical edge of door and within 5'-0" of standing surface.
 - Stair treads to be 10 inches minimum. Treads less than 11 inches require nosing. Nosing to be minimum 0.75 inches and maximum 1.25 inches. Stair risers to be 7.75 inches maximum. All stairs to be uniform in dimensions within 3/8 inch. Per section.
 - 18 inch x 24 inch under-floor crawl space access opening, per CRC section 408.4 if under floor plumbing cleanout is installed. It must be located within 20'-0" of the access opening
 - A readily accessible attic access, minimum 22 inch by 30 inch, located where at least 30 inches of clear headroom occurs and at attic space exceeding 30 sq. ft. per CRC R807.1.
 - Width of landing at exterior door shall not be less than door opening width per R311.3
 - Minimum 36 inch deep landing required at all exterior doors (landing shall not be more than 7.75 inches lower than threshold for in-swinging doors. R311.3.1. See detail 2/A9
 - For the exterior entry door, maximum threshold shall be 1.5 inches from the finished floor to the landing, per section R311.3.1.
 - All skylights shall be Velux skylights (ICBO Evaluation Report # NER-216) or equal. Provide ICBO report to inspector prior to installation.
 - Heat-n-glo directed vent gas fireplace heater to be selected by owner. Gas fireplace shall UL listed or ICC approved. Provide manuf. specs to city inspector.
 - Shower and tub/shower walls shall have a smooth, hard, non-absorbent surface over cement, fiber-cement or glass mat gypsum backer in compliance with ASTM C 1178, C 1288 or C1325 installed per manufacturer recommendations to a height not less than 6 feet above the floor per R307.2
 - Water heater shall be seismically strapped to a wall, provide with 18" high platform, combustion air to outside, pressure relief valve to outside with drain. See detail 16/A9.
 - F.A.U.: furnace in attic, see detail 2/A10. Combustion air from outside, vent to outside and provide setback thermostat.
 - Dishwasher with drain to garbage disposal.
 - Sink with garbage disposal.
 - Cook top to be selected by owner. Vent to outside with backdraft damper.
 - Washer space, provide cold & hot water supply, waste line and if on second floor, a pan with drain to exterior.
 - Dryer space, provide vent to outside with smooth metal duct with backdraft damper.
 - Provide 1/2 inch gypsum board type 'X' on the garage side wall next to all living areas. Provide 5/8 type 'X' gypsum board at ceiling if gypsum board does not extend to roofing through the attic space. Table R302.6
 - Toilet shall have 15 inches minimum from centerline of fixture to the adjacent wall or obstruction on each side. Minimum 30 inches is required for any similar fixtures such as a bidet. Per section 407.5 of 2010 CPC.
 - Door from garage to kitchen area shall be a 1-3/8" thick solid wood door, solid or honeycomb core steel door, or 20 minute rated fire door. Doors shall be a self-latching and self-closing door per R302.5.1.
 - Elements appliances which generate a glow, spark, or flame (such as water heater and furnace) shall be located a minimum of 18 inches above garage floor per CMC 307.1 and CPC 508.14.
 - Ducts penetrating the walls or ceilings separating the dwelling unit from the garage shall be constructed of a minimum 26 gage sheet metal steel or other approved material and shall have no openings into the garage per R302.5.2.
 - The maximum hot water temperature discharging from the bathtub, shower and whirlpool bathtub filler shall be limited to 120 degrees Fahrenheit. The water heater thermostat shall not be considered a control for meeting this provision. CPC 414.5 and 418.0.
 - Control valves and showerheads shall be located on the sidewall of shower compartments or be otherwise arranged so that the showerhead does not discharge directly at the entrance to the compartment and the bather can adjust the valves prior to stepping into the shower spray per CPC 411.10.
 - shower shall have a minimum area of 1024 sq. inches and a minimum finish dimension of 30 inches in any directions. an outward swinging 22 inch minimum clear door shall be provided.

- ### GENERAL NOTES FOR CONTRACTOR:
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 - CONTRACTOR SHALL ADD CROWN MOLDING AT CEILING IN FAMILY AND MASTER BEDROOM, LIVING AND DINING, WITH MOLDING TO BE SELECTED BY OWNER.
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 - CONTRACTOR TO PRE-WIRE HOUSE FOR ALARM, AUDIO SYSTEM, E.V. CHARGER, AND SOLAR ROOF PANELS PER OWNER
 - CONTRACTOR TO INSTALL A.C. AND ATTIC FAN PER OWNER

REVISIONS	BY

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 PHONE: (408) 209-8775

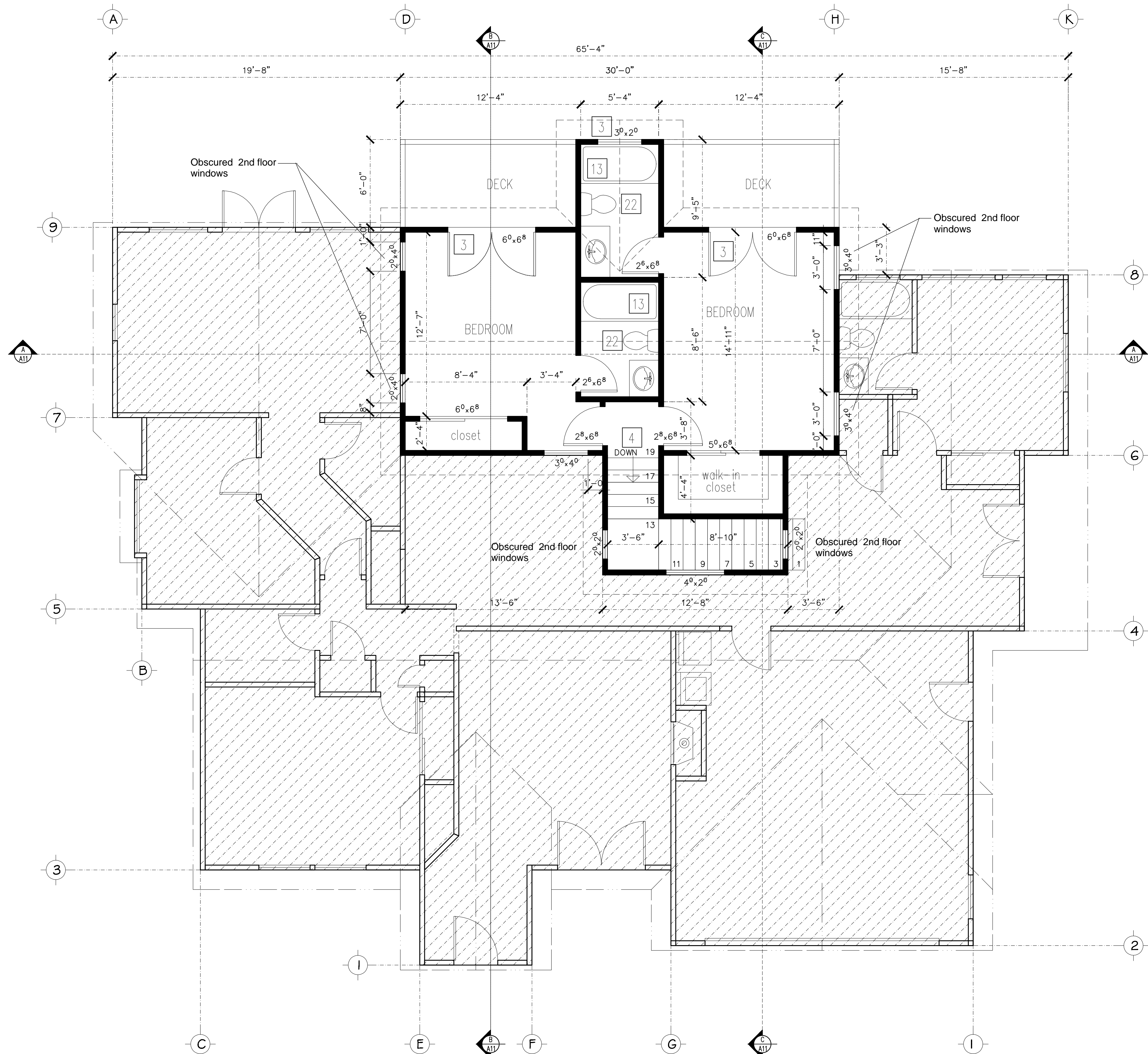
REGISTERED PROFESSIONAL ENGINEER
 No. C57404
 Exp. 02/16
 CIVIL
 STATE OF CALIFORNIA

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 San Jose, CA, 95127
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 408-258-4614 office/fax

Residential Addition and Remodel for:
 Sandy Xia
 720 Montrose Ave.
 Palo Alto, CA 94303
First Floor Plan

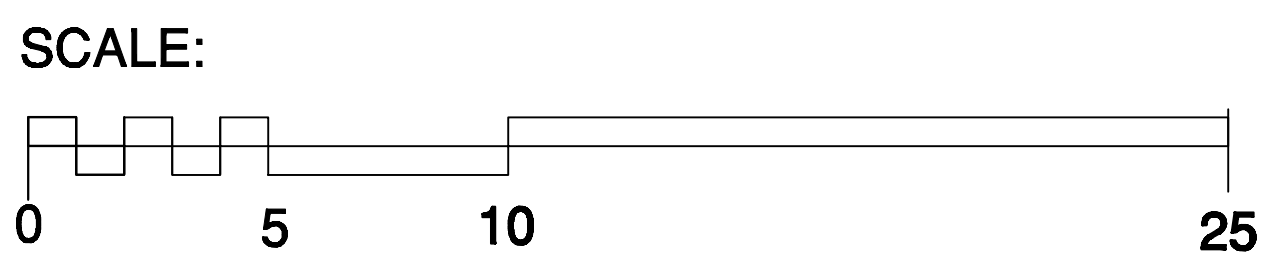
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2ND FLOOR PLAN

1/4" = 1'-0"



WALL LEGEND :

	DENOTES (E) WALL
	DENOTES (N) WALL

FLOOR PLAN KEYNOTES

- Bedroom window shall be an egress window to have a minimum net clear opening of 5.7 square feet, and 5.0 sf for grade floor openings minimum net clear opening height of 24 inches; and minimum net clear opening width of 20 inches, sill height not more than 44 inches above the floor. See detail 18/A9
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REVISIONS	BY

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Residential Addition and Remodel for:
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 720 Montrose Ave.
 Palo Alto, CA 94303

Second Floor Plan

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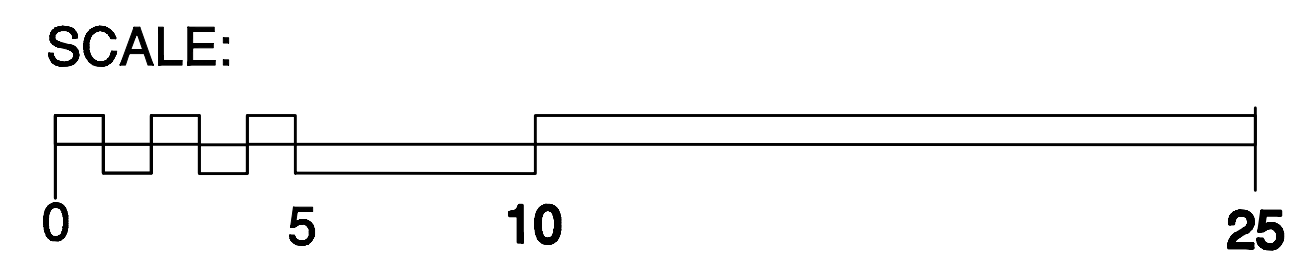
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DAYLIGHT PLANE REFERENCE POINT GRADE FOR THE PURPOSE OF ESTABLISHING DAYLIGHT PLANE SHALL BE AN AVERAGE OF THE GRADE AT THE MIDPOINT OF THE BUILDING AND THE GRADE AT THE CLOSEST POINT ON THE ADJACENT LOT

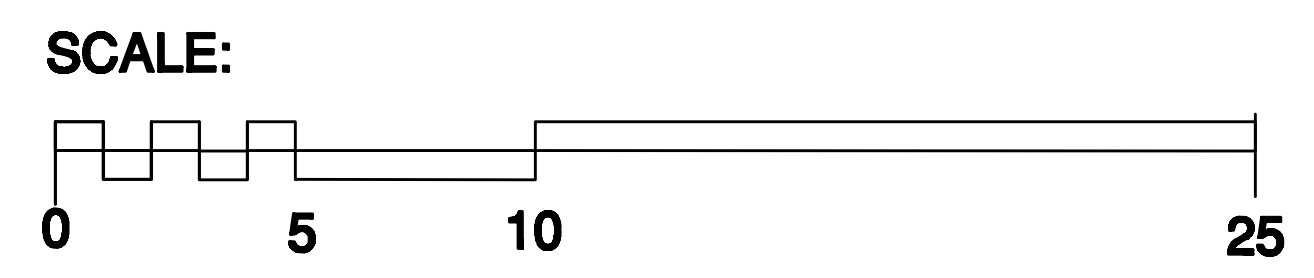
NEW REAR ELEVATION

1/4" = 1'-0"

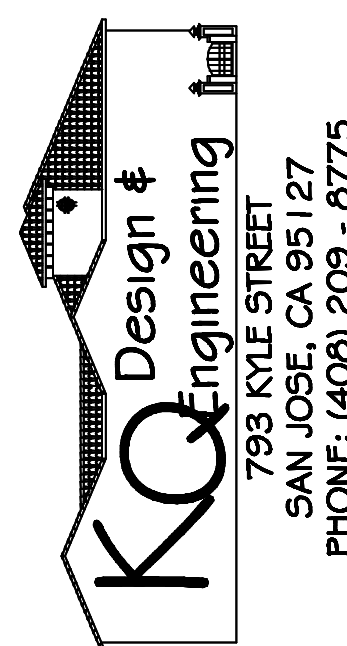


NEW FRONT ELEVATION

1/4" = 1'-0"



- Key note on elevation:
- 1 4 inch minimum high and 1/2" thick address number to be clearly visible and legible from the adjacent street fronting the property. Address signage shall be per the City of Palo Alto Fire Dept. standards.
 - 2 Exterior wall finish: "stucco wall finish (to be selected by owner) over two layers of Grade D paper wood sheathing.
 - 3 Corrosion resistant weep screed is required below the stucco a minimum of 4" above earth or 2" above paved area.
 - 4 Roof material: comp shingle roof (to be selected by owner) over 30# felt paper roof plywood per structural plans. Roofing to be class "C" minimum
 - 5 Provide gutters and downspouts to direct roof drainage to storm water drain at street or approved drainage facility.

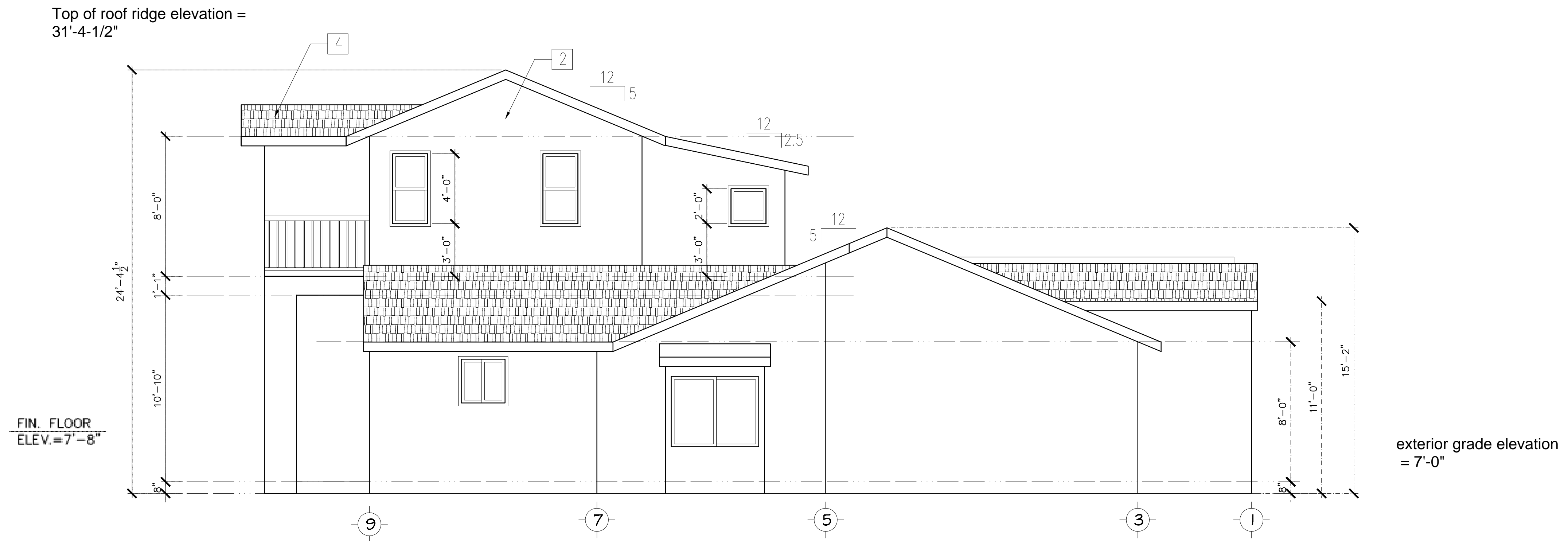


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Residential Addition and Remodel for:
Sandy Xia
720 Montrose Ave.
Palo Alto, CA 94303
Elevations

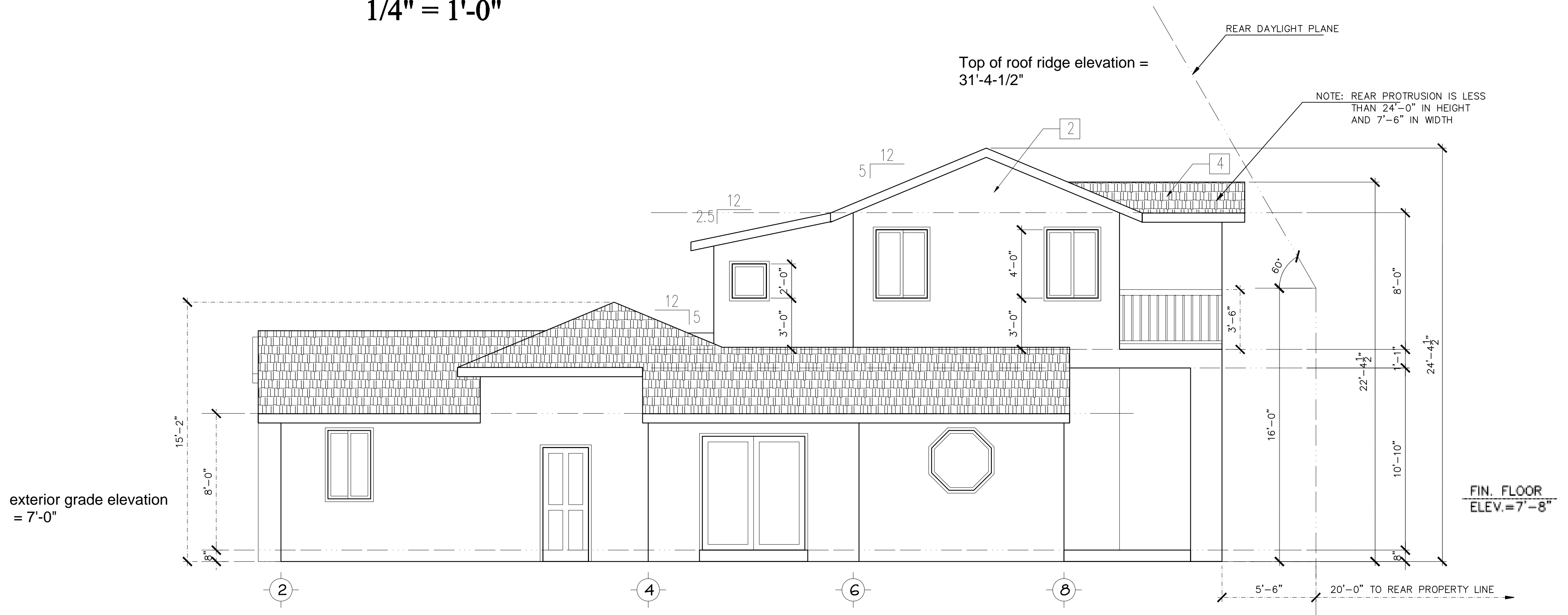
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NEW LEFT SIDE ELEVATION

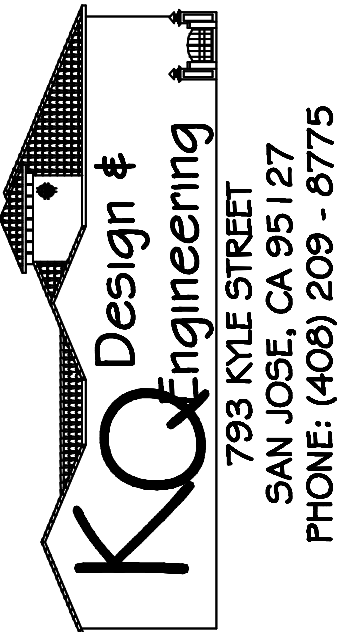
1/4" = 1'-0"



NEW RIGHT SIDE ELEVATION

1/4" = 1'-0"

- Key note on elevation:**
- 1 4 inch minimum high and 1/2" thick address number to be clearly visible and legible from the adjacent street fronting the property. Address signage shall be per the City of Palo Alto Fire Dept. standards.
 - 2 Exterior wall finish: "stucco wall finish (to be selected by owner) over two layers of Grade D paper wood sheathing.
 - 3 Corrosion resistant weep screed is required below the stucco a minimum of 4" above earth or 2" above paved area.
 - 4 Roof material: comp shingle roof (to be selected by owner) over 30# felt paper roof plywood per structural plans. Roofing to be class "C" minimum
 - 5 Provide gutters and downspouts to direct roof drainage to storm water drain at street or approved drainage facility.



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Residential Addition and Remodel for:
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Palo Alto, CA 94303
Elevations

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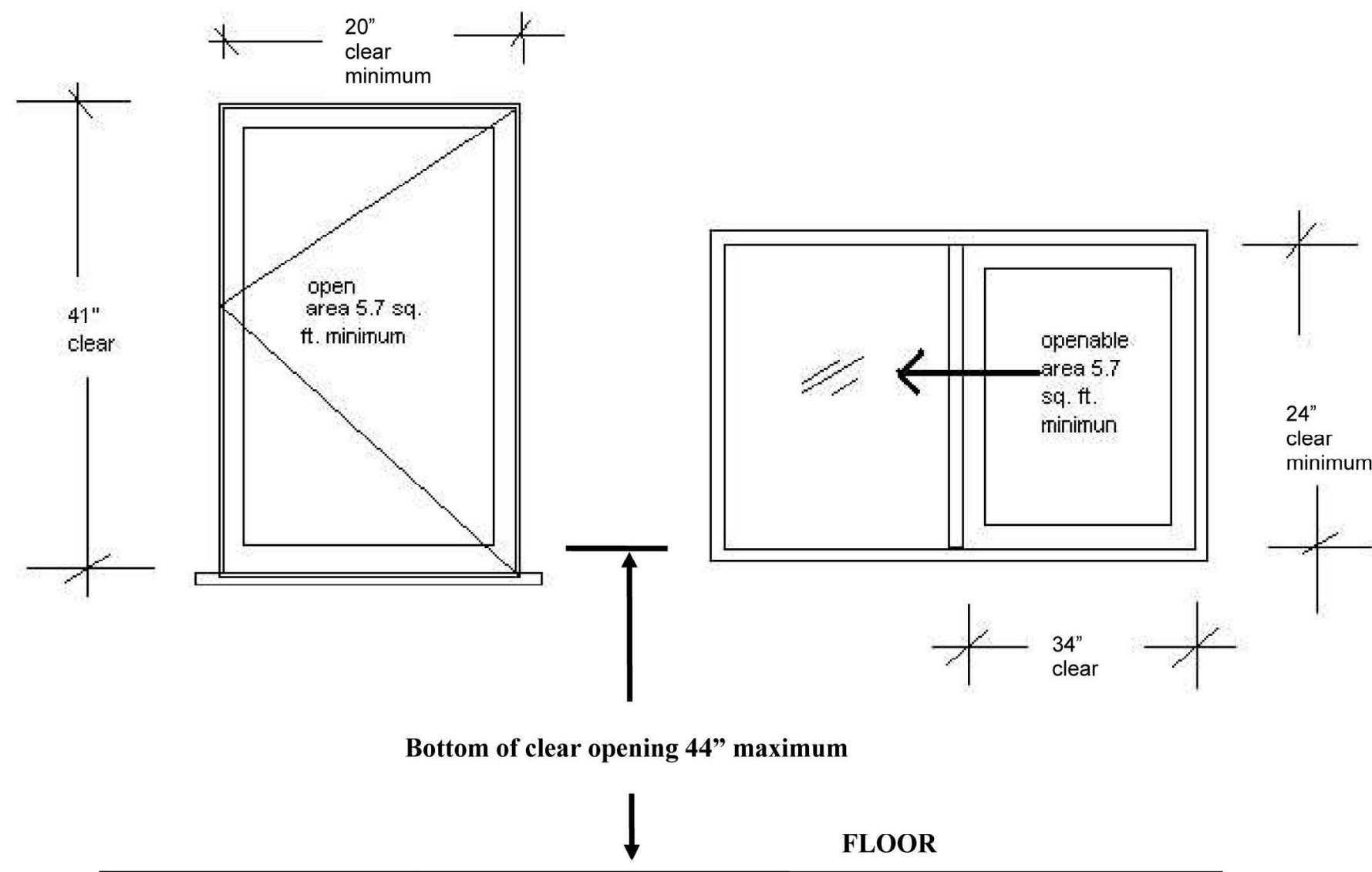
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OF SHEETS

ESCAPE OR RESCUE WINDOWS

Minimum Escape or Rescue Windows From Sleeping Rooms – 2010 California Building Code, Section 1029 and 2010 California Residential Code, Section R310

A net clear opening is to be provided from normal operation of the opening. The opening is to be operational from inside without use of keys or tools. Grilles, grates or similar security devices are permitted under specific conditions. A complying window well is required for the below-grade opening.

- Minimum width of opening: 20 inches (508 mm)
- Minimum height of opening: 24 inches (610 mm)
- * Minimum net clear opening, Ground Floor: 5.0 square feet (0.465 m²)
- Minimum net clear opening, other than Ground Floor: 5.7 square feet (0.530 m²)
- Maximum height to the opening: 44 inches (1118 mm)



* The sill must be no more than 44" above the outside grade to use the smaller (5.0 square feet) window.

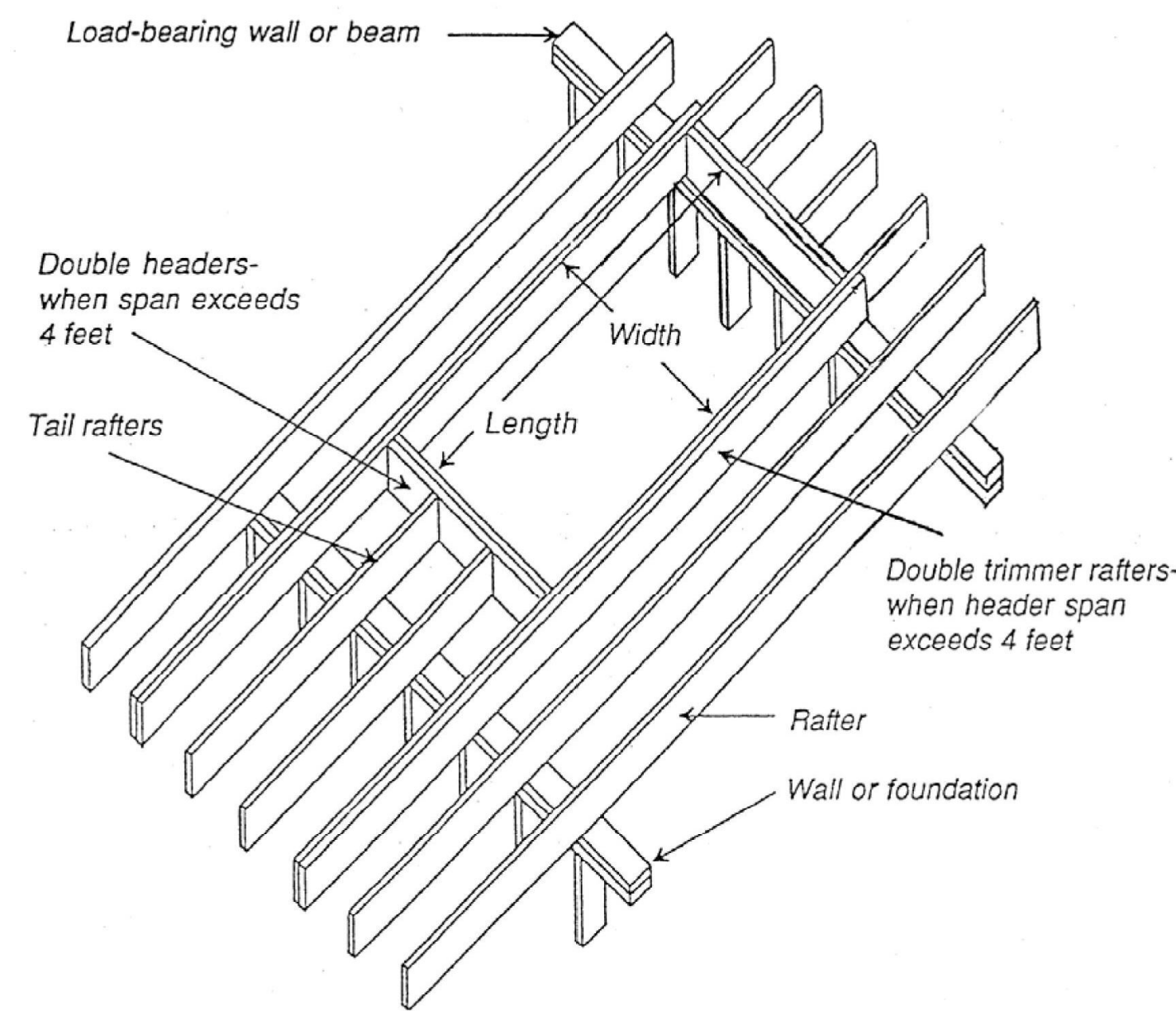
18

SKYLIGHT FRAMING DETAIL

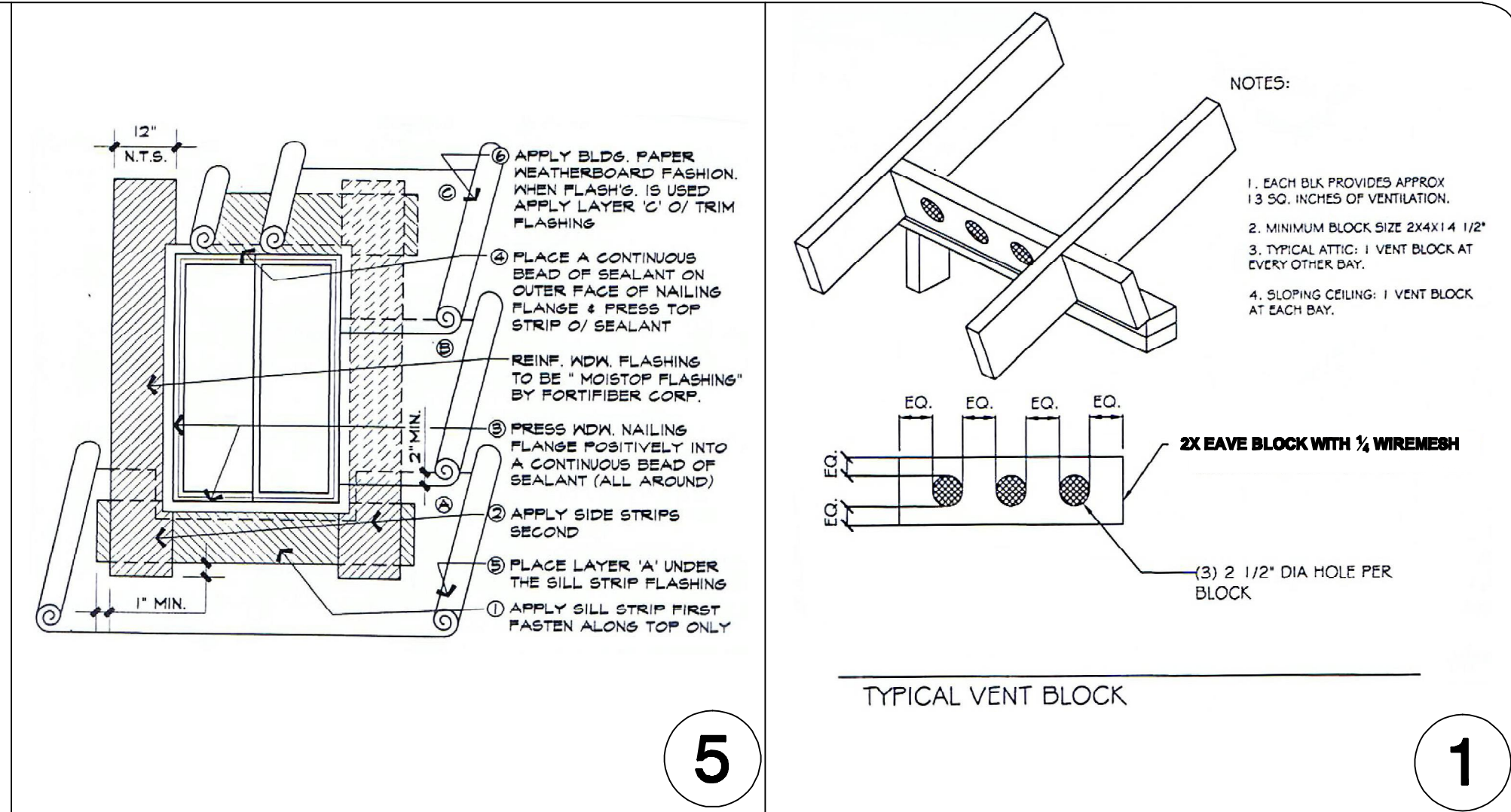
Roof Framing Around Openings

2010 California Residential Code, Section R802.9
2010 California Building Code, Section 2308.10.4.3

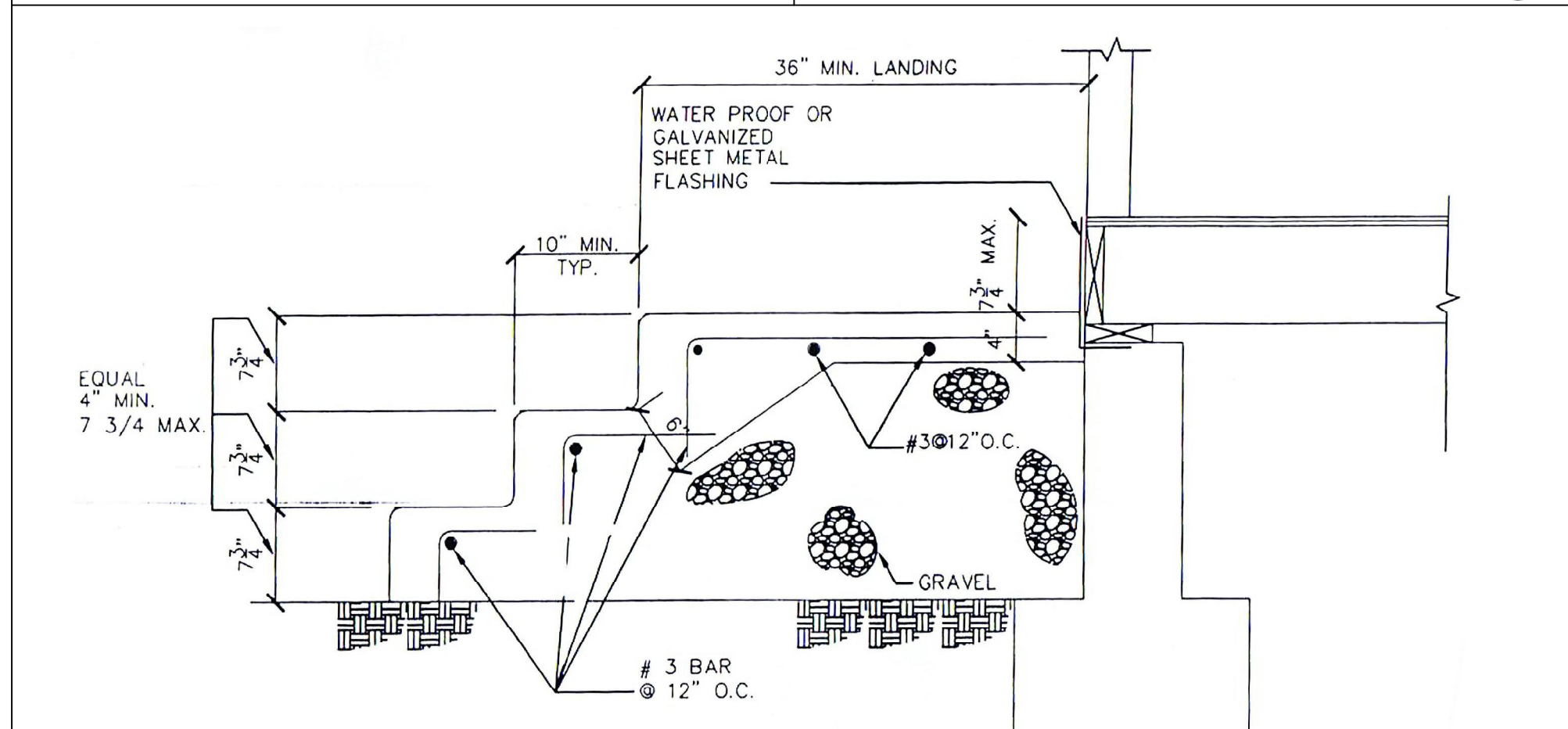
- Headers with a span exceeding 4' must be framed with trimmers and header rafters that are doubled or of lumber of equivalent cross-section.
- The ends of header rafters more than 6' in length shall be supported by framing anchors or rafter hangers unless the rafters bear on a beam, partition or wall.



10



1



2

WATER HEATER BRACING

The State of California requires that all water heaters in our area be anchored or strapped to resist movement during an earthquake. This can be accomplished by installing any of the over-the-counter products specifically made for restraining water heaters (Example 1) or you can make your own out of a heavy-duty metal strap material (Example 2). It is required that at least two restraints are used, with one in the upper one-third and one in the lower one-third of the water heater. Fasten the anchor or strap to the structure, use a screw not less than 1/4" diameter with a minimum penetration of 1/2" into a wood stud on the wall, with a washer between the head of the screw and the restraint. Below are examples of acceptable methods for restraining a water heater, other examples and earthquake preparedness information can be found on the web at www.seismic.ca.gov.

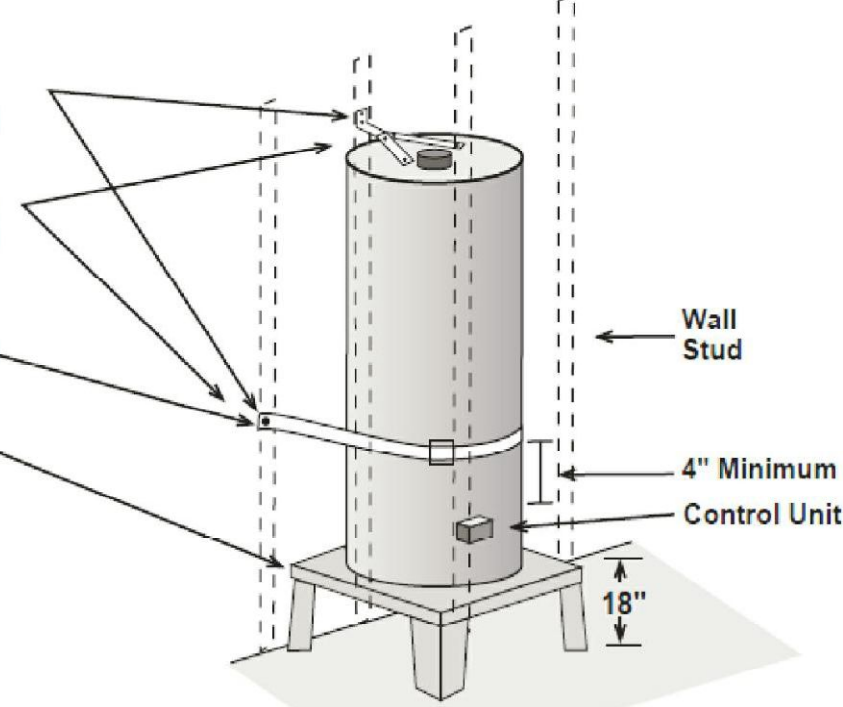
Example 1

These types of restraints are over-the-counter products sold at your local hardware store.

Drill pilots on center line of stud, insert screws through punched holes in strap. Use washers.

The lower strap must be a minimum of 4" above the control unit.

This 18" stand is required for heaters installed in a garage location.



Example 2

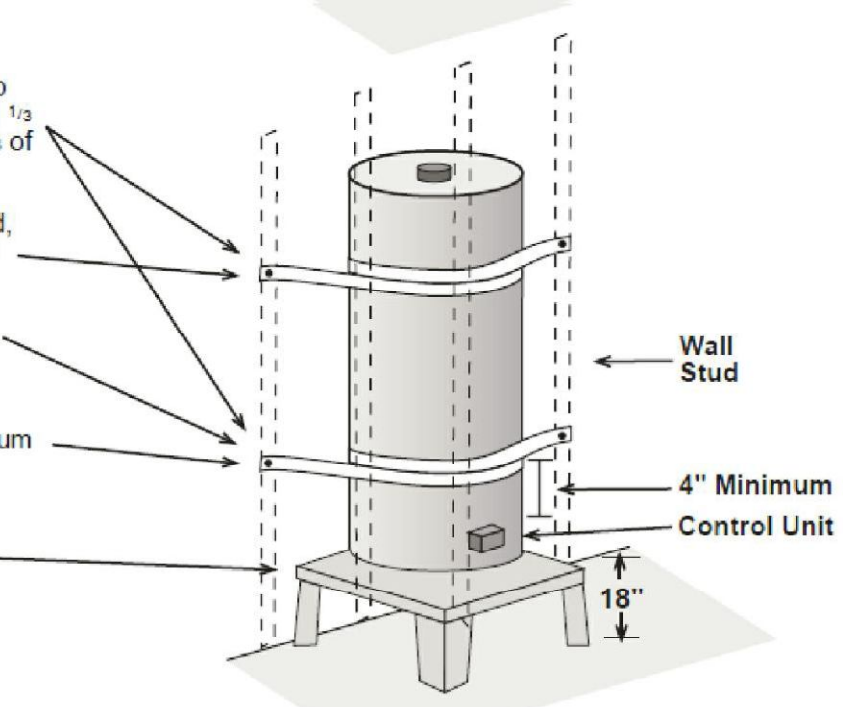
Minimum 22 Gauge metal strap material installed within the top 1/3 of the heater and the bottom 1/3 of the heater.

Drill pilots on center line of stud, insert screws through punched holes in strap.

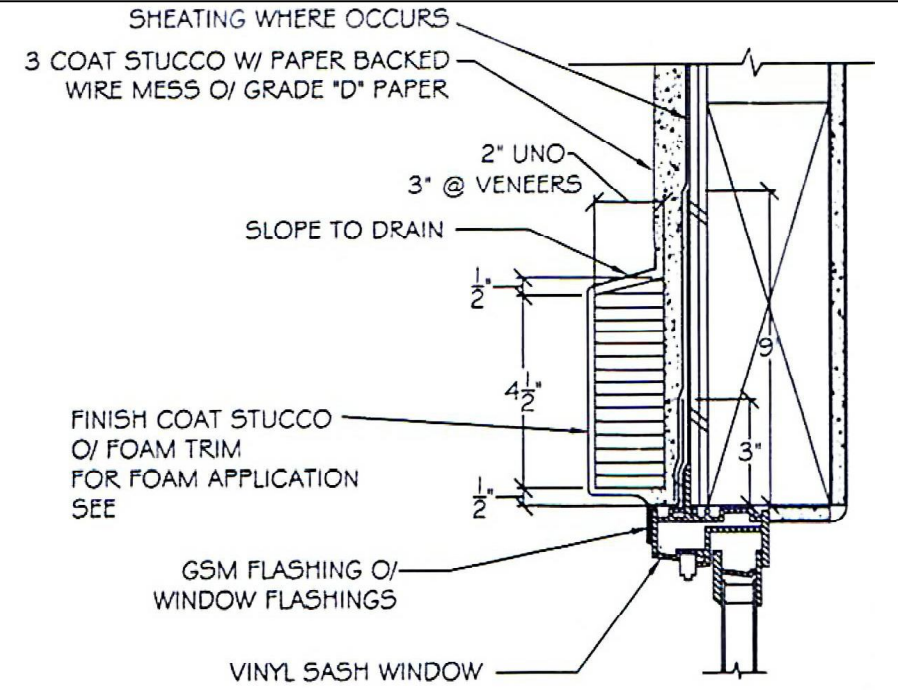
Use minimum 1/4" screws with minimum 1 1/2" penetration. Use washers.

The lower strap must be a minimum of 4" above the control unit.

This 18" stand is required for heaters installed in a garage location.



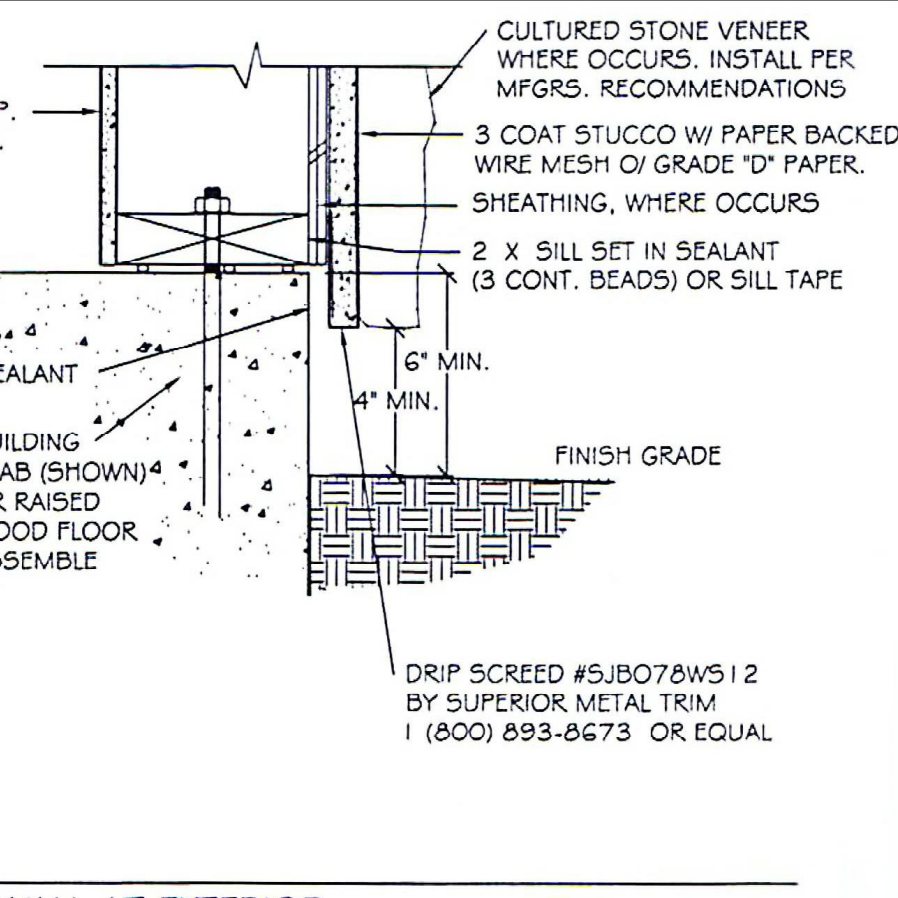
16



INSTALL FLASHING OF EXTERIOR WALL OPENINGS BASED ON INDUSTRY STANDARDS APPROVED BY THE CALIFORNIA ASSOCIATION OF WINDOW MANUFACTURERS, (CAWM)

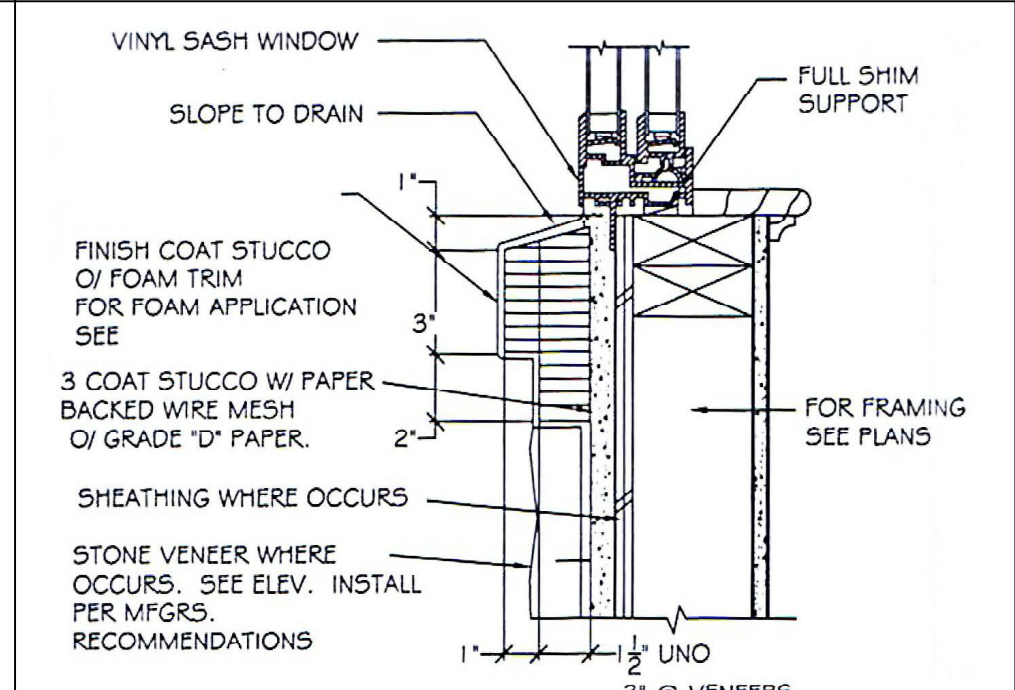
WINDOW HEAD

11



WALL AT EXTERIOR

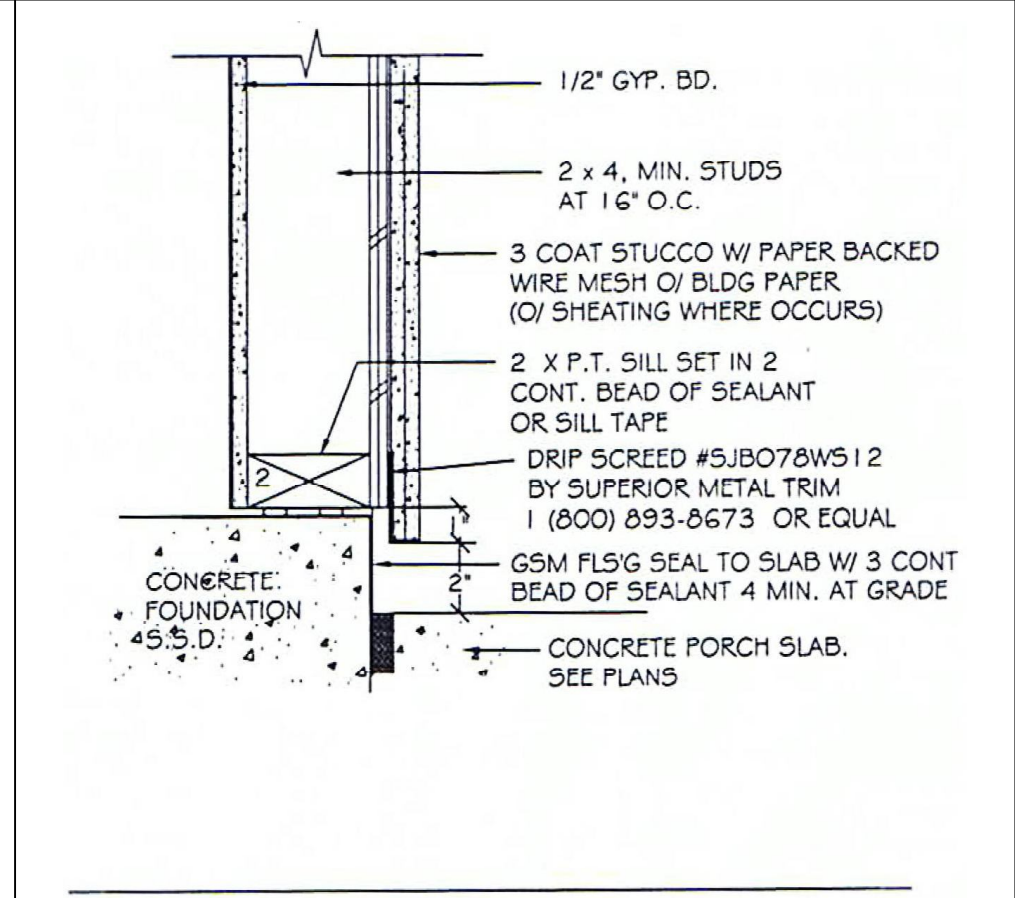
12



INSTALL FLASHING OF EXTERIOR WALL OPENINGS BASED ON INDUSTRY STANDARDS APPROVED BY THE CALIFORNIA ASSOCIATION OF WINDOW MANUFACTURERS, (CAWM)

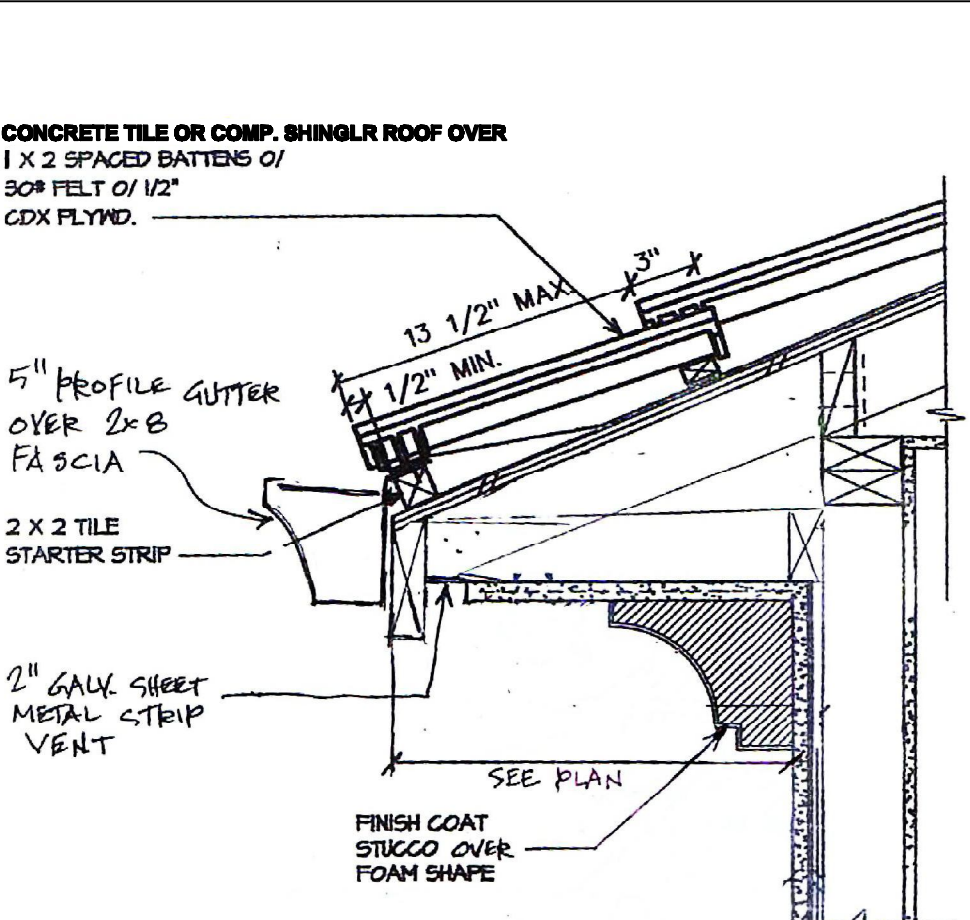
WINDOW SILL

7



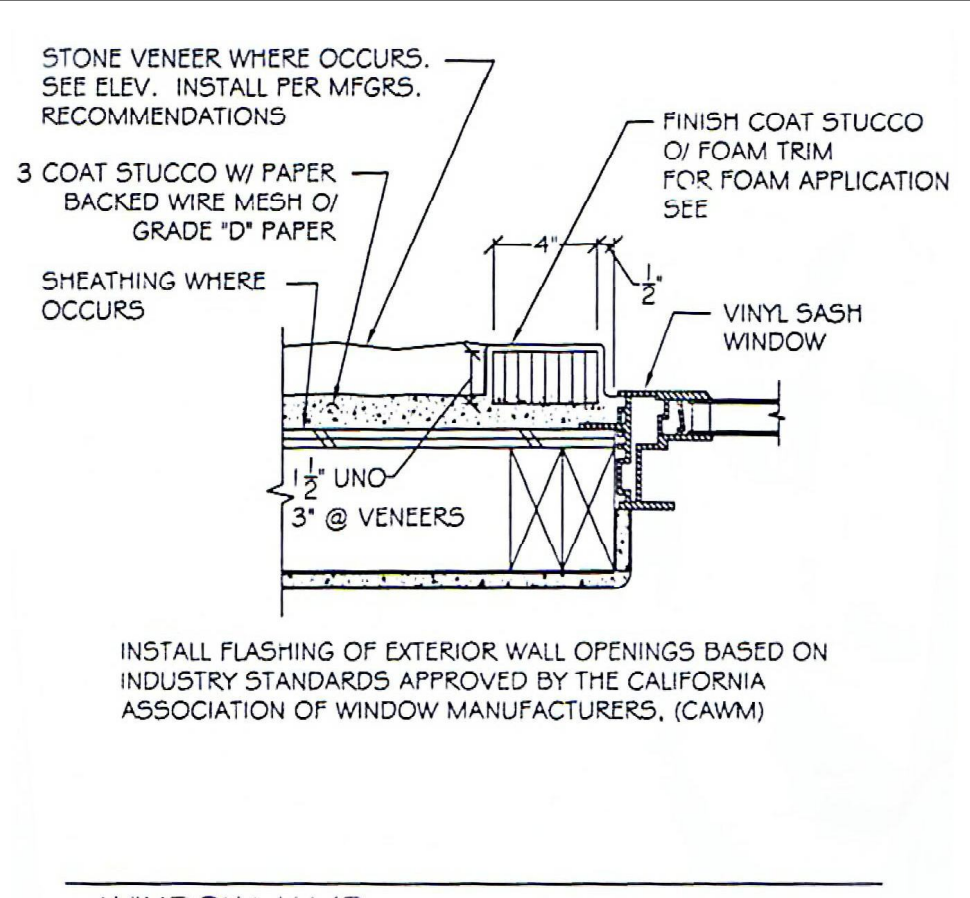
WALL AT SILL PLATE

8



WINDOW JAMB

3

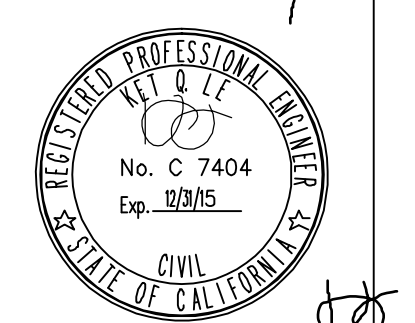


WINDOW JAMB

4

REVISIONS	BY

KQ Design & Engineering
793 KYLE STREET
SAN JOSE, CA 95127
PHONE: (408) 209-8775

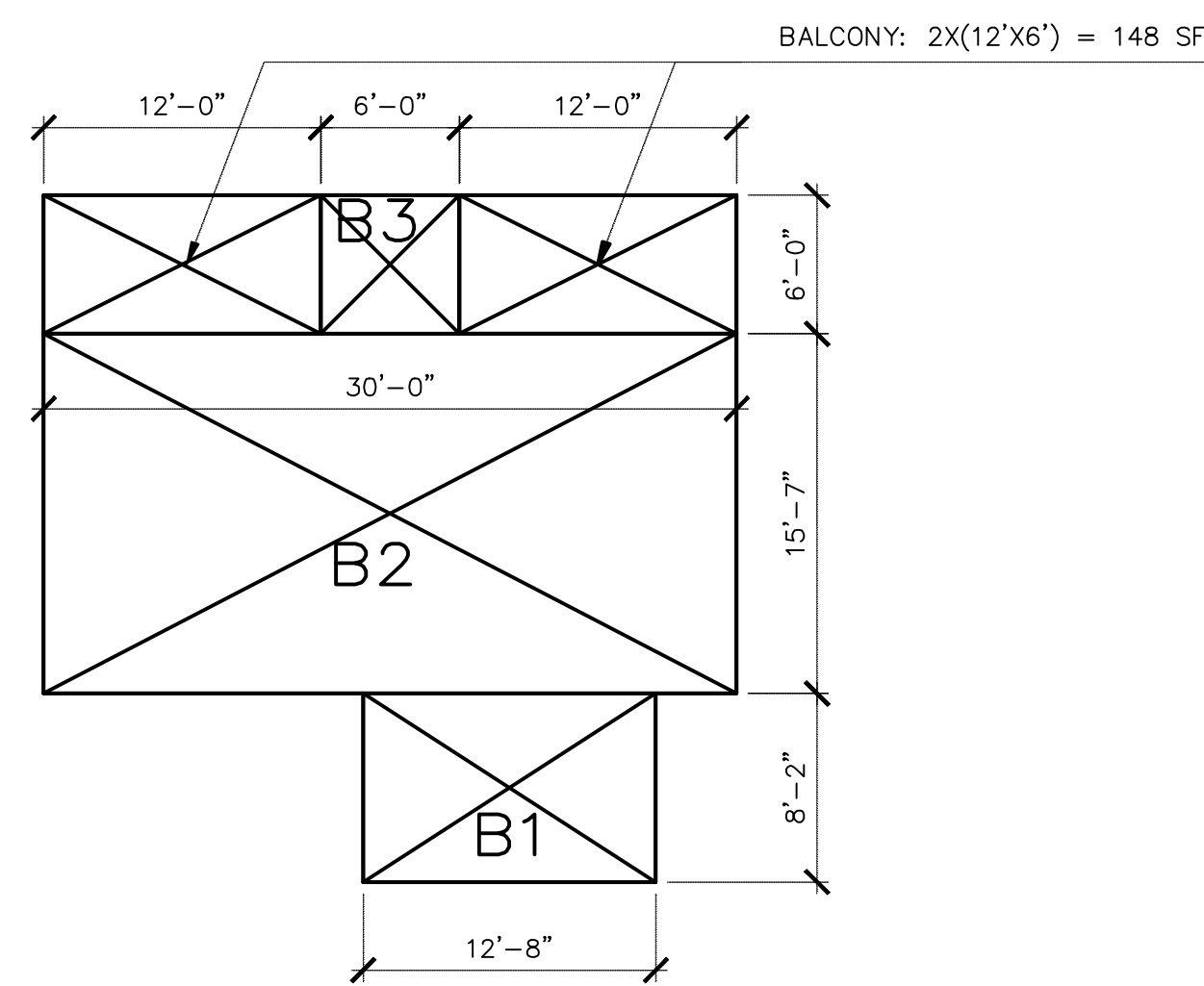


793 Kyle Street
San Jose, CA. 95127
Tel.: 408-209-8775 cell
408-258-4614 office/fax

Residential Remodel and Addition for:
Sandy Xia
720 Montrose Ave.
Palo Alto, CA 94303
Architectural Details

DRAWN
CHECKED
DATE
SCALE
JOB NO.
SHEET

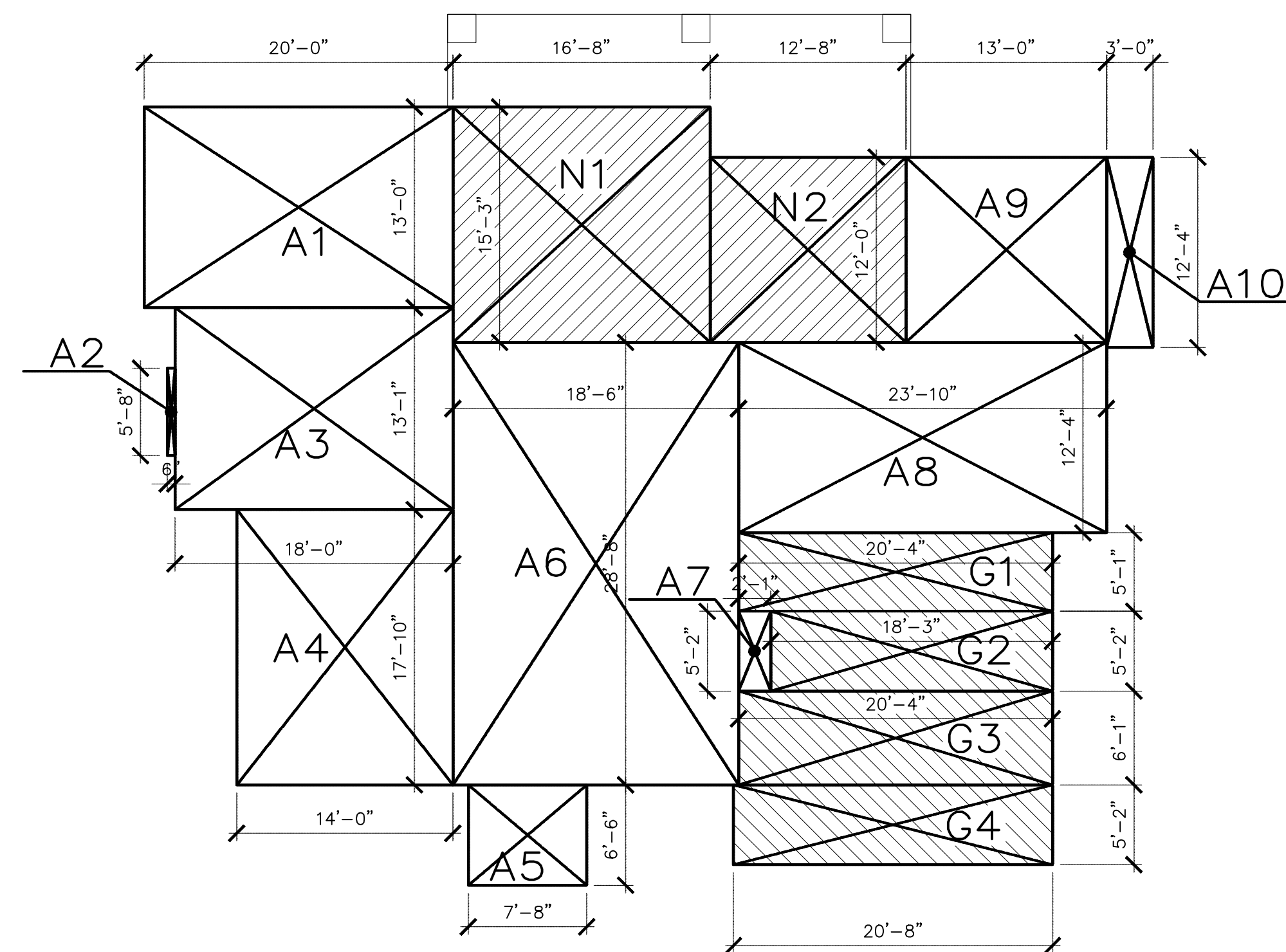
A9
OF SHEETS



SECOND FLOOR AREA CALCULATIONS:

$$\begin{aligned}
 B1 &= (12'-8'' \times 8'-2'') = 103.44 \text{ SF} \\
 B2 &= (30'-0'' \times 15'-7'') = 467.50 \text{ SF} \\
 B3 &= (12'-0'' \times 6'-0'') = 36.00 \text{ SF} \\
 \hline
 \text{TOTAL} &= 606.94 \text{ SF}
 \end{aligned}$$

TOTAL AREA (WITHOUT BALCONY):
 $2232 + 607 + 428 = 3267 \text{ SF}$



EXISTING AREA CALCULATIONS:

$$\begin{aligned}
 A1 &= (13'-00'' \times 20'-00'') = 260.00 \text{ SF} \\
 A2 &= (05'-08'' \times 00'-06'') = 2.83 \text{ SF} \\
 A3 &= (13'-01'' \times 18'-00'') = 235.50 \text{ SF} \\
 A4 &= (14'-00'' \times 17'-10'') = 249.67 \text{ SF} \\
 A5 &= (07'-08'' \times 06'-06'') = 49.83 \text{ SF} \\
 A6 &= (18'-06'' \times 28'-08'') = 530.33 \text{ SF} \\
 A7 &= (05'-02'' \times 02'-01'') = 10.76 \text{ SF} \\
 A8 &= (12'-04'' \times 23'-10'') = 293.94 \text{ SF} \\
 A9 &= (13'-00'' \times 12'-00'') = 156.00 \text{ SF} \\
 A10 &= (03'-00'' \times 12'-04'') = 37.00 \text{ SF} \\
 \hline
 \text{TOTAL} &= 1825.86 \text{ SF}
 \end{aligned}$$

ADDITION AREA CALCULATIONS:

$$\begin{aligned}
 N1 &= (16'-08'' \times 15'-03'') = 254.17 \text{ SF} \\
 N2 &= (12'-08'' \times 12'-00'') = 152.00 \text{ SF} \\
 \hline
 \text{TOTAL} &= 406.17 \text{ SF}
 \end{aligned}$$

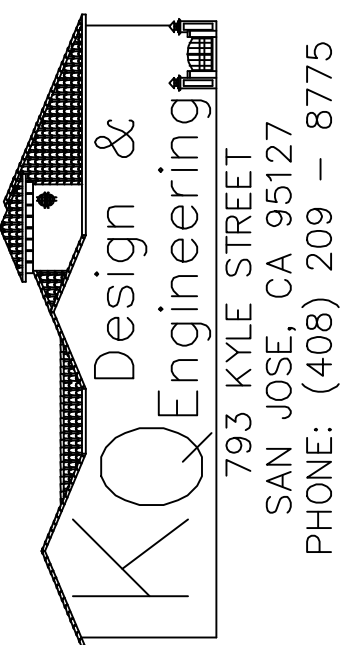
1ST FLOOR AREA CALCULATIONS:

$$\text{TOTAL} = 1825.86 + 406.17 = 2232.03 \text{ SF}$$

GARAGE AREA CALCULATIONS:

$$\begin{aligned}
 G1 &= (24'-0'' \times 5'-1'') = 103.36 \text{ SF} \\
 G2 &= (18'-3'' \times 5'-2'') = 94.29 \text{ SF} \\
 G3 &= (24'-0'' \times 6'-1'') = 123.69 \text{ SF} \\
 G4 &= (28'-0'' \times 5'-2'') = 106.78 \text{ SF} \\
 \hline
 \text{TOTAL} &= 428.12 \text{ SF}
 \end{aligned}$$

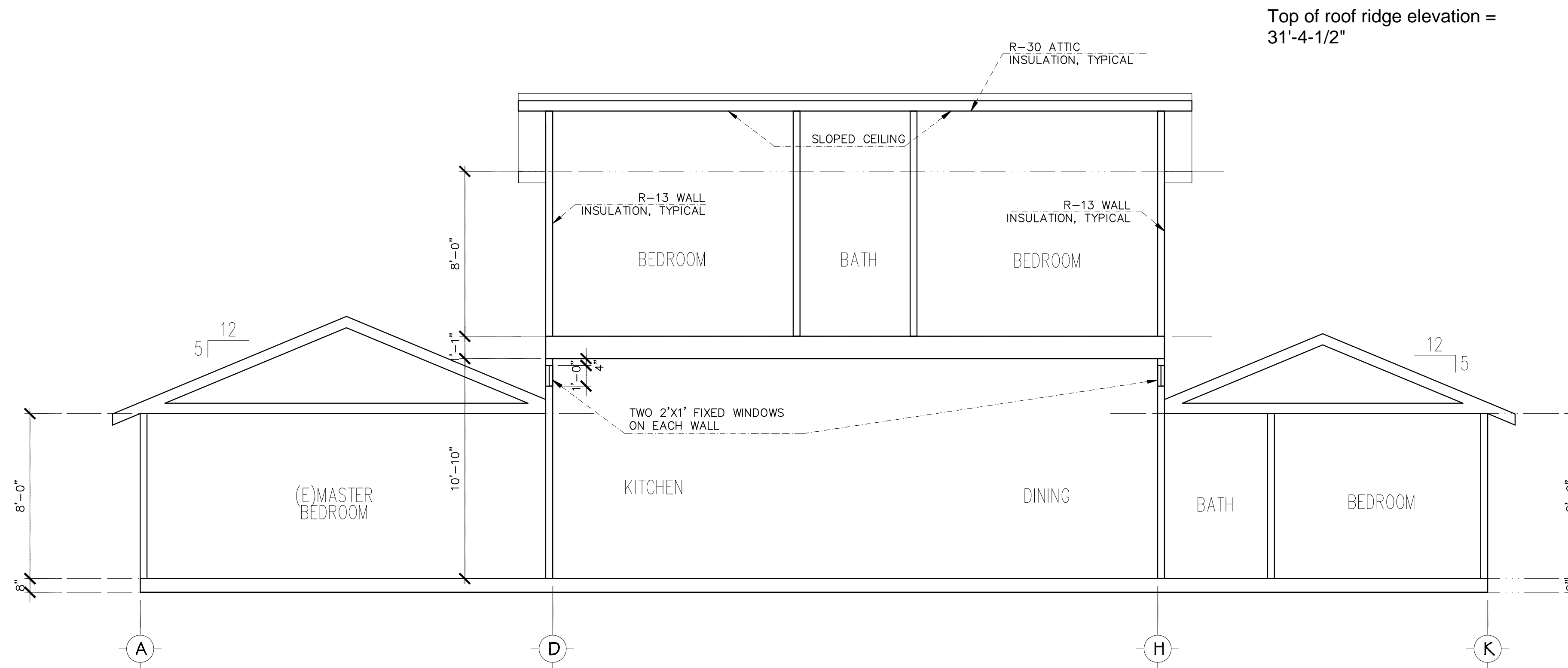
REVISIONS	BY



793 Kyle Street
 San Jose, CA, 95127
 Tel: 408-209-8775 cell
 408-258-4614 office/fax

Residential Addition and Remodel for:
 Sandy Xia
 720 Montrose Ave.
 Palo Alto, CA 94303
Floor Area Calculations

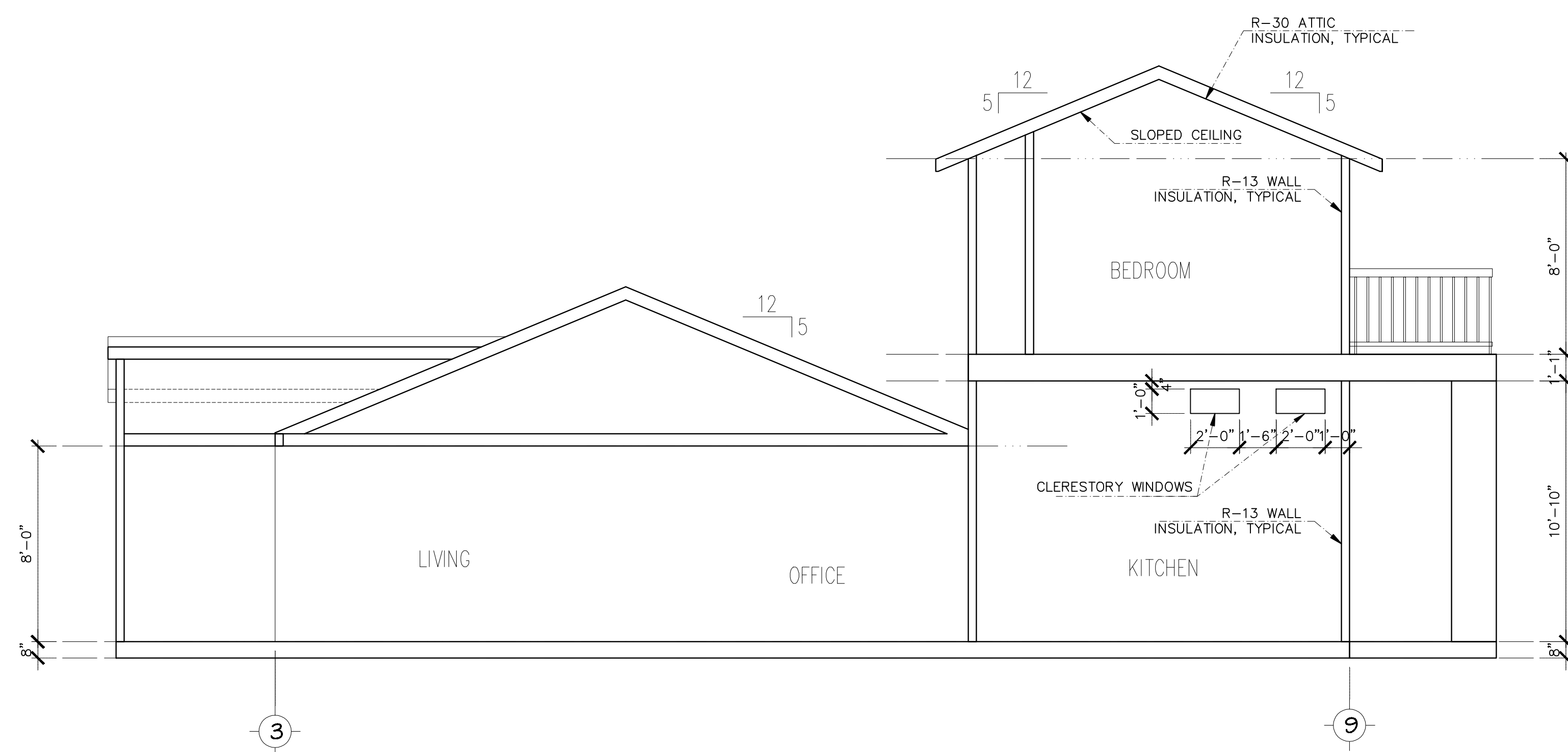
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DATE
SCALE
JOB NO.
SHEET



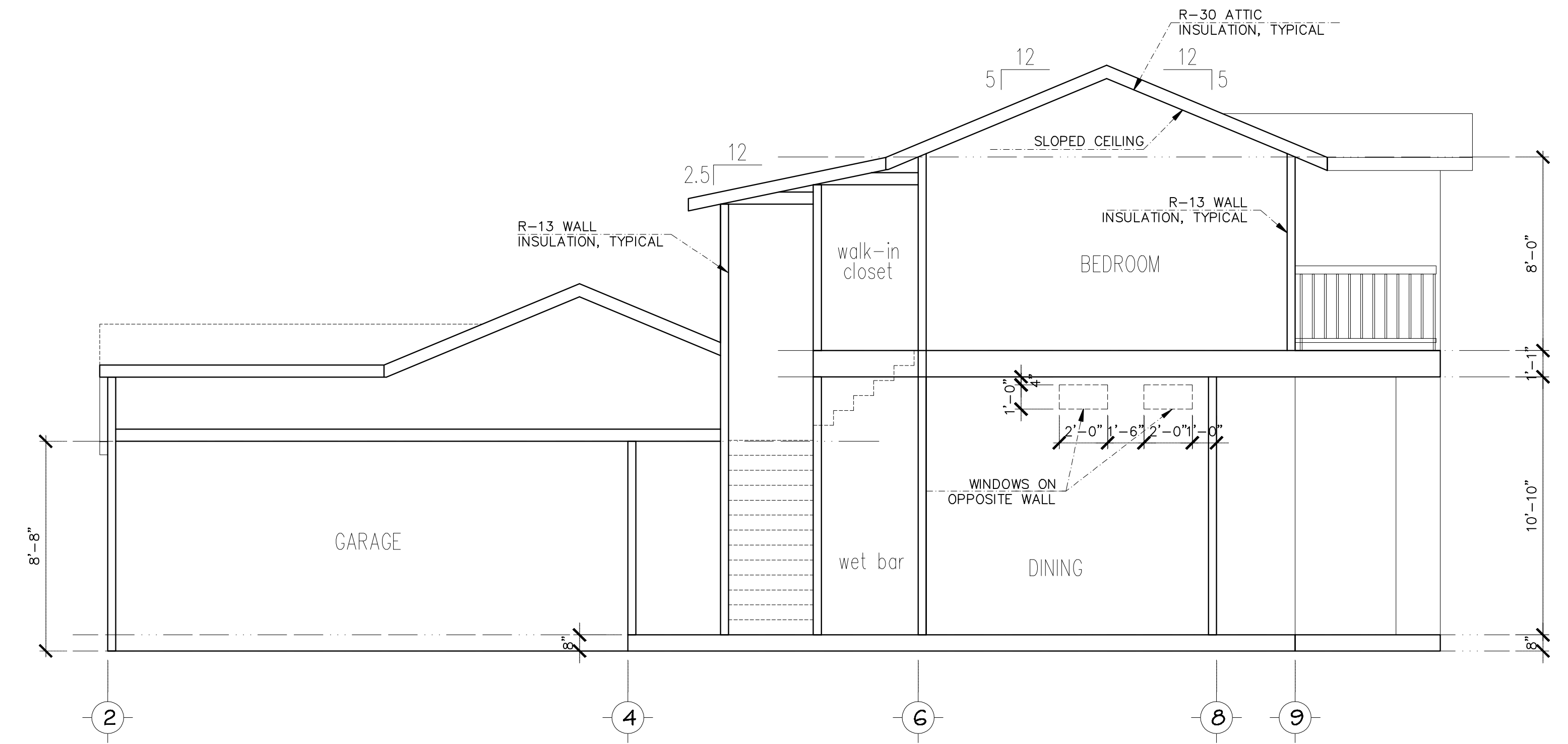
Top of roof ridge elevation = 31'-4-1/2"

FIN. FLOOR ELEV. = 7'-8"
 exterior grade elevation = 7'-0"

SECTION A-A
 1/4" = 1'-0"

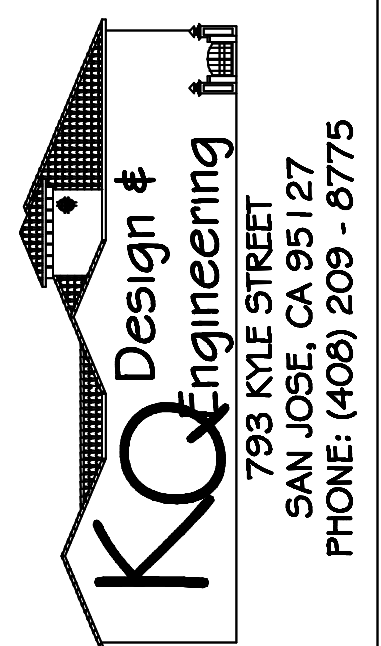


SECTION B-B
 1/4" = 1'-0"



SECTION C-C
 1/4" = 1'-0"

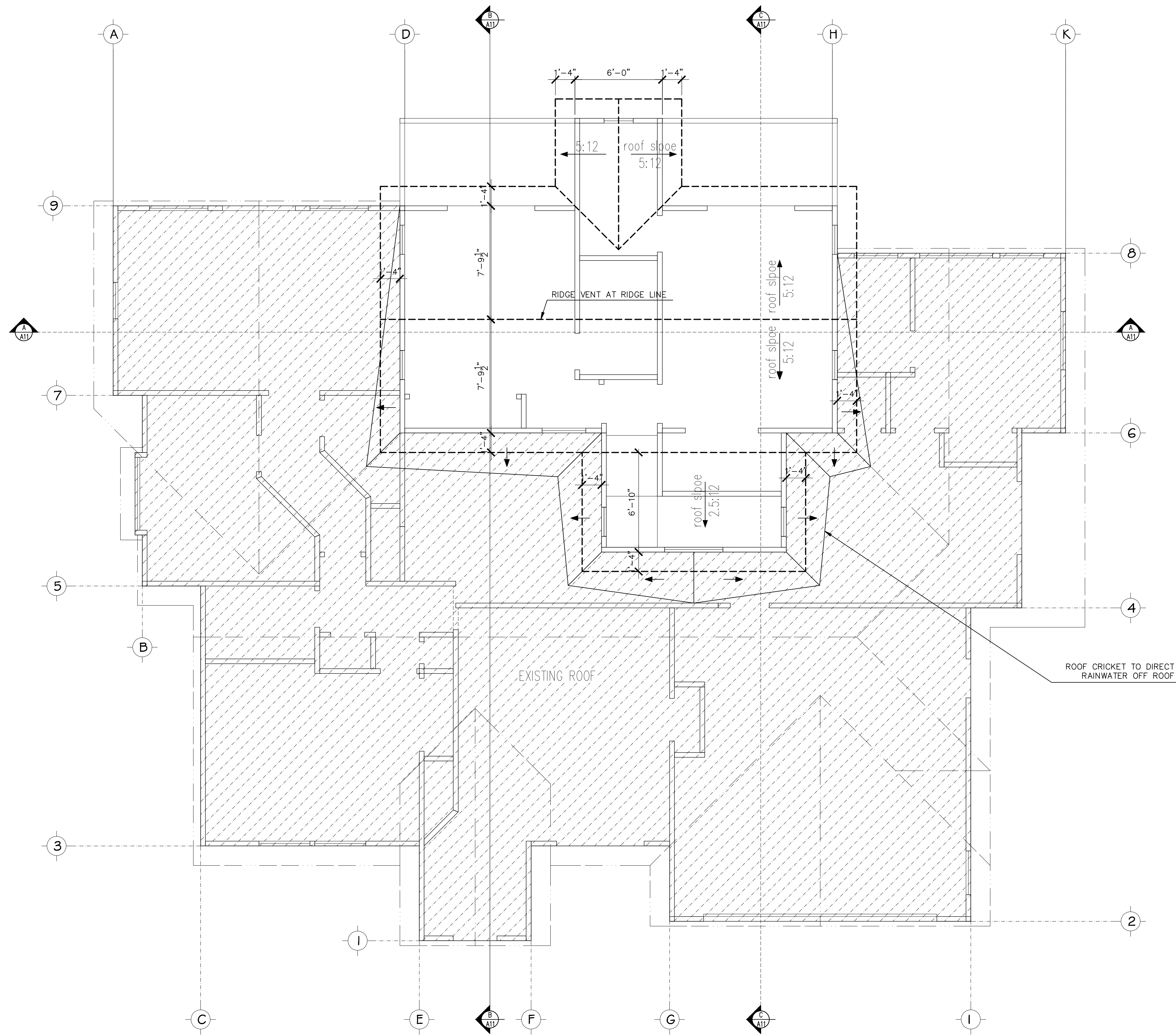
REVISIONS	BY



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 San Jose, CA. 95127
 Tel.: 408-209-8775 cell
 408-258-4614 office/fax

Residential Addition and Remodel for:
 Sandy Xia
 720 Montrose Ave.
 Palo Alto, CA 94303
Sections

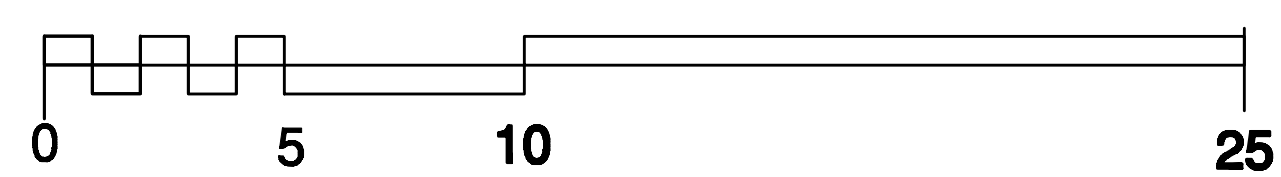
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JOB NO.
SHEET



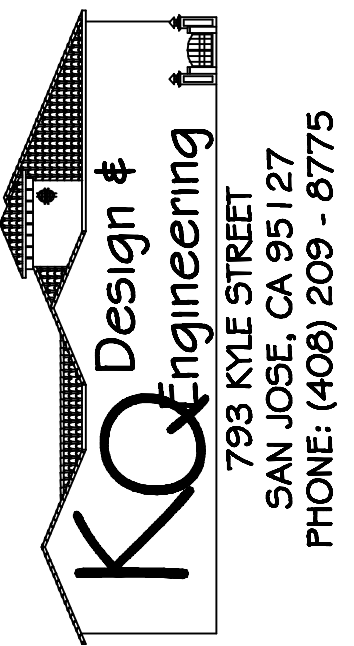
ROOF PLAN

1/4" = 1'-0"

SCALE:



REVISIONS	BY



793 Kyle Street
San Jose, CA. 95127
Tel.: 408-209-8775 cell
408-258-4614 office/fax

Residential Addition and Remodel for:
Sandy Xia
720 Montrose Ave.
Palo Alto, CA 94303
Roof Plan

DRAWN
CHECKED
DATE
SCALE
JOB NO.
SHEET

A13
OF SHEETS

REVISIONS	BY

KQ Design & Engineering
 793 KYLE STREET
 SAN JOSE, CA 95127
 PHONE: (408) 209 - 8775



793 Kyle Street
 San Jose, CA. 95127
 Tel.: 408-209-8775 cell
 408-258-4614 office/fax

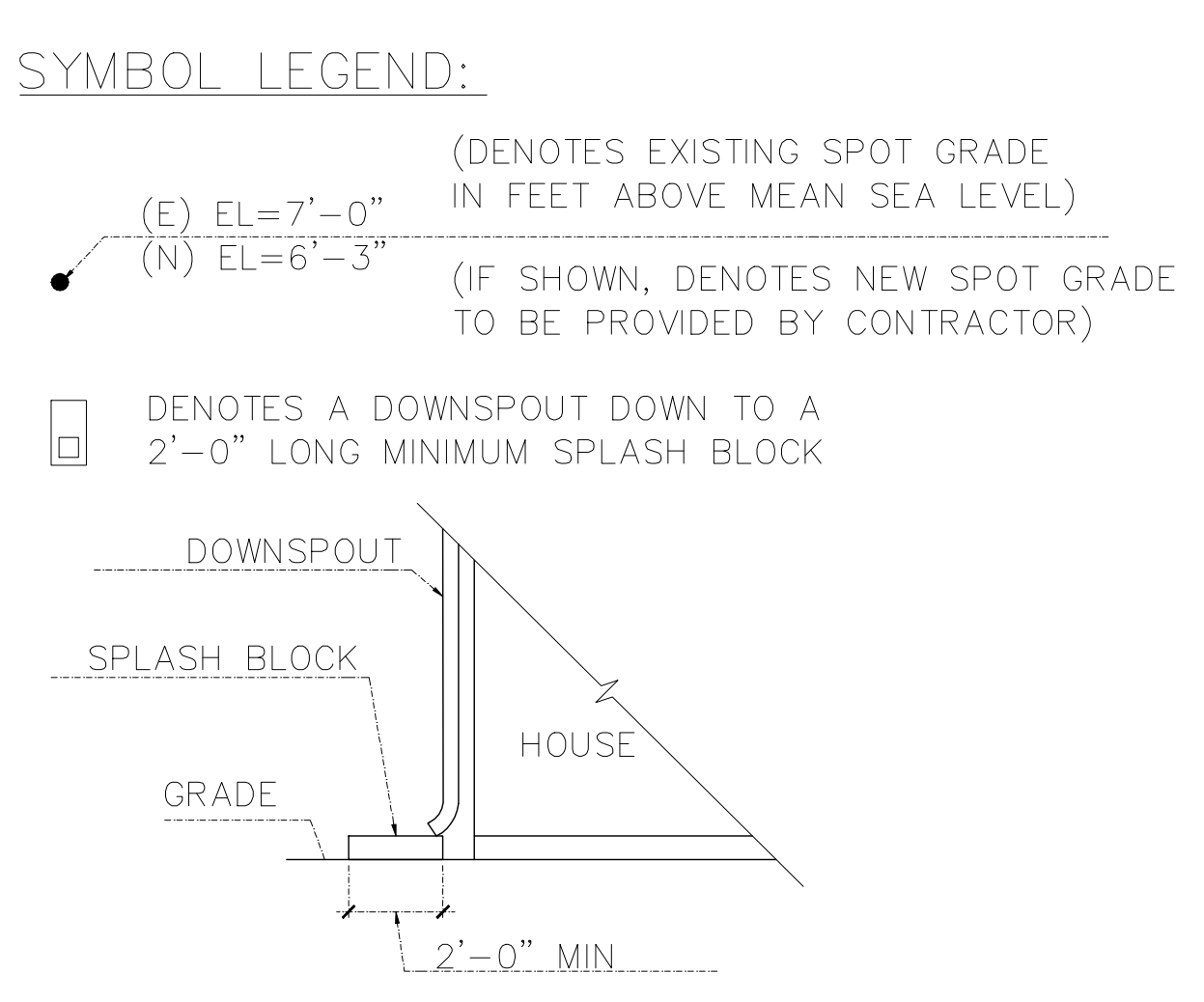
Residential Addition And Remodel for:
 Sandy Xia
 720 Montrose Ave.
 Palo Alto, CA 94303
Spot Elevation Survey&Drainage Plan

DRAWN
CHECKED
DATE
SCALE
JOB NO.
SHEET

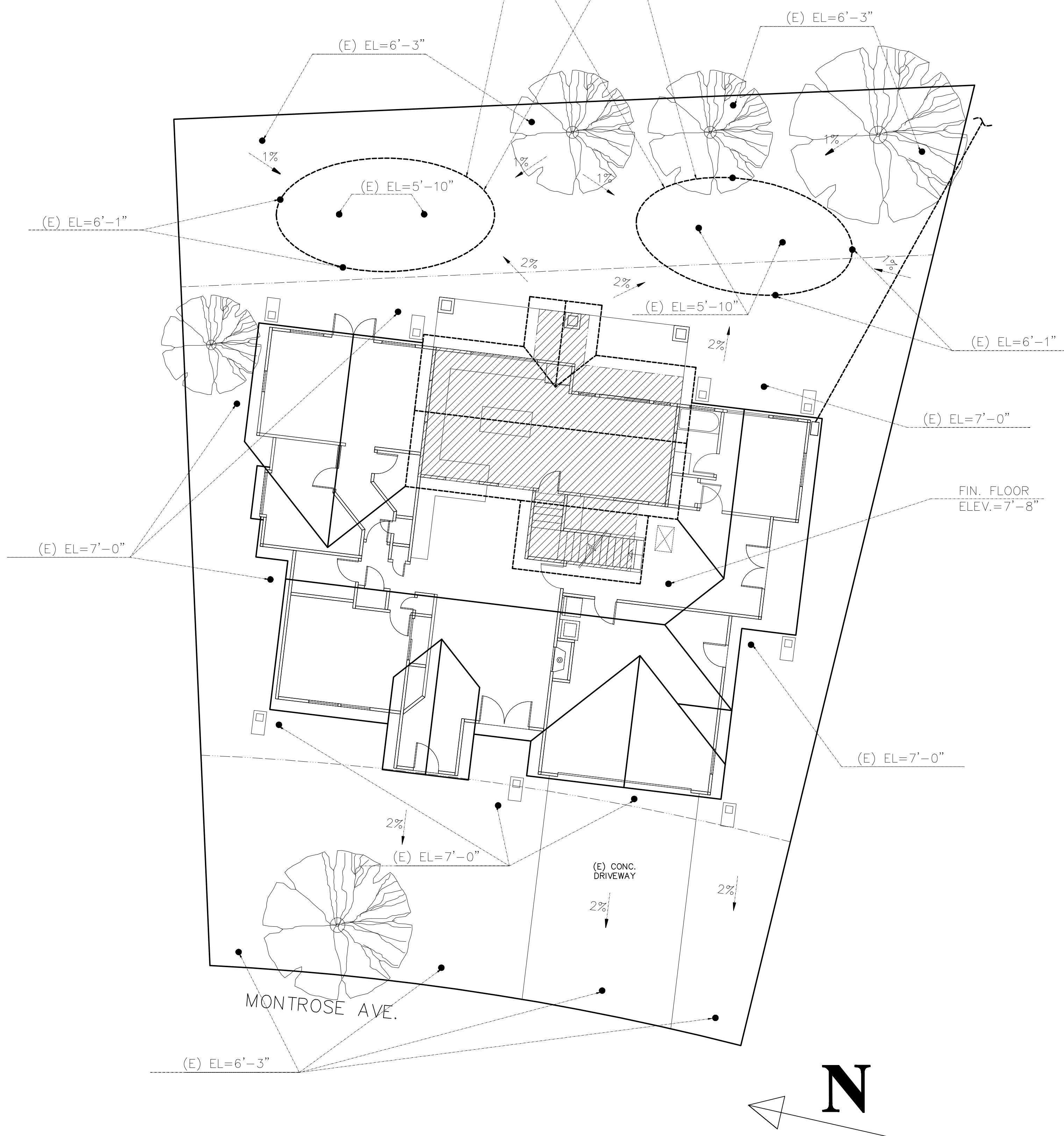
SV1
 OF SHEETS

SITE DRAINAGE NOTE:

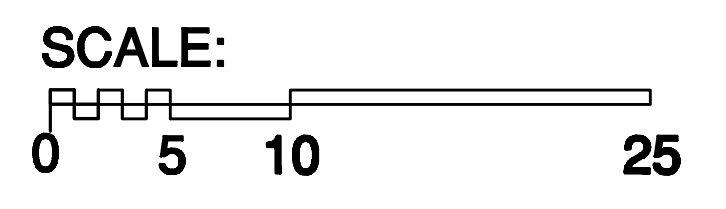
1. THE CONTRACTOR SHALL NOT ALTER PRE-EXISTING DRAINAGE PATTERNS EXISTING FROM ADJACENT PROPERTIES IN A MANNER THAT NEGATIVELY IMPACTS THOSE PROPERTIES.
2. ROOF WATER DOWN SPOUTS DISCHARGING TO TWO FOOT (LONGER IF DESIRED) SPLASH BLOCKS MUST BE PROVIDED TO CARRY THIS RAIN WATER AWAY FROM FOUNDATION
3. THE SITE SHALL BE FINE GRADED TO PROVIDED A MINIMUM OF 2% SLOPE AWAY FROM HOUSE FOUNDATION AND ADJACENT PROPERTIES.



NOTE:
 CONTRACTOR SHALL PROVIDE MINIMUM 1% GRADE FOR SURFACE WATER RUN OFF TO CENTER OF DEPRESSED LANDSCAPE AREA



SPOT ELEVATION SURVEY PLAN
 1/8" = 1'-0"



City of Palo Alto Tree Protection - It's Part of the Plan!

Make sure your crews and subs do the job right!

Fenced enclosures around trees are essential to protect them by keeping the foliage canopy and branching structure clear from contact by equipment, materials and activities, preserving roots and soil conditions in an intact and non-compacted state, and identifying the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved. **An approved tree protection report must be added to this sheet when project activity occurs within the TPZ of a regulated tree.**

For detailed information on Palo Alto's regulated trees and protection during development, review the **City Tree Technical Manual (TTM)** found at www.cityofpaloalto.org/trees/.

TREE DISCLOSURE STATEMENT

CITY OF PALO ALTO
Planning Division, 250 Hamilton Avenue
Palo Alto, CA 94301
(650) 329-2441
<http://www.cityofpaloalto.org>

Palo Alto Municipal Code, Chapter 8.10.040, requires disclosure and protection of certain trees located on private and public property, and that they be shown on approved site plans. A completed disclosure statement must accompany all building permit applications that include exterior work, all demolition or grading permit applications, or other development activity.

PROPERTY ADDRESS: 720 Montrose Avenue

Are there Regulated trees on or adjacent to the property? YES (NO) If no, proceed to Section 4)

[Sections 1-4 MUST be completed by the applicant. Please circle and/or check where applicable.]

1. Where are the trees? Check those that apply. (Plans must be submitted showing over 4" diameter trees)

On the property
 On adjacent property overhanging the project site
 In the City planter strip or right-of-way easement within 30' of property line (Street Trees)*

*Street trees require special protection by a fenced enclosure, per the attached instructions. Prior to receiving any permit, you must provide an authorized Street Tree Protection Verification form by calling Public Works Operations at 493-5953 for inspection of required type I, II or III fencing (see attached Detail #605).

2. Are there any Protected or Designated Trees? YES (Check where applicable) NO

Protected Tree (s)
 Designated Tree (s)
 On or overhanging the property

3. Is there activity or grading within the dripline? (radius 10 times the trunk diameter) of these trees? YES NO

If Yes, a Tree Preservation Report must be prepared by an ISA certified arborist and submitted for staff review (see TTM, Section 6.25). Attach this report to Sheet T-1, Tree Protection, as Part of the Plan, per Site Plan Requirements.

4. Are the Site Plan Requirements** completed? YES NO

**Protection of Regulated Trees during development require the following: (1) Plans must show the measured trunk diameter and canopy dripline; (2) Plans must denote, as a bold dashed line, a fenced enclosure area out to the dripline, per Sheet T-1 and Detail #605 - <http://www.cityofpaloalto.org/trees/forms.htm> (See also TTM, Section 2.15 for area to be fenced)

I, the undersigned, agree to the conditions of this disclosure. I understand that knowingly or negligently providing false or misleading information in response to this disclosure requirement constitutes a violation of the Palo Alto Municipal Code Section 8.10.040, which can lead to criminal and/or civil legal action.

Signature: _____ Print: **Ket Le** Date: **2-4-15**

(Prop. Owner or Agent)

FOR STAFF USE:

Protective Fencing Sections 5-6 must be completed by staff for the issuance of any development permit (demolition, grading or building permit).

5. Protected Trees. The specified tree fencing is in place. A written statement is attached verifying that protective fencing is correctly in place around protected and/or designated trees. (N/A if there are no protected trees, check here) YES NO

6. Street Trees. A signed Public Works Street Tree Protection Verification form is attached. (N/A if there are no street trees, check here) YES NO

Regulated Trees - a) Street trees - trees on public property; b) Protected trees - Coast Live Oaks or Valley Oaks which are 11.5" in diameter or larger, Coast Redwoods which are 18" in diameter or larger, when measured 54" above natural grade; and Heritage trees as trees designated by City Council; and c) Designated Trees - commercial or non-residential property trees, which are part of an approved landscape plan.

* Palo Alto Tree Technical Manual (TTM) contains instructions for all requirements on this form, available at <http://www.cityofpaloalto.org/planning-community/tree-technical-manual.html>

S:\Plan\Plan\Arbors\Tree Protection Info\Tree Disclosure Statement Revised 08/06

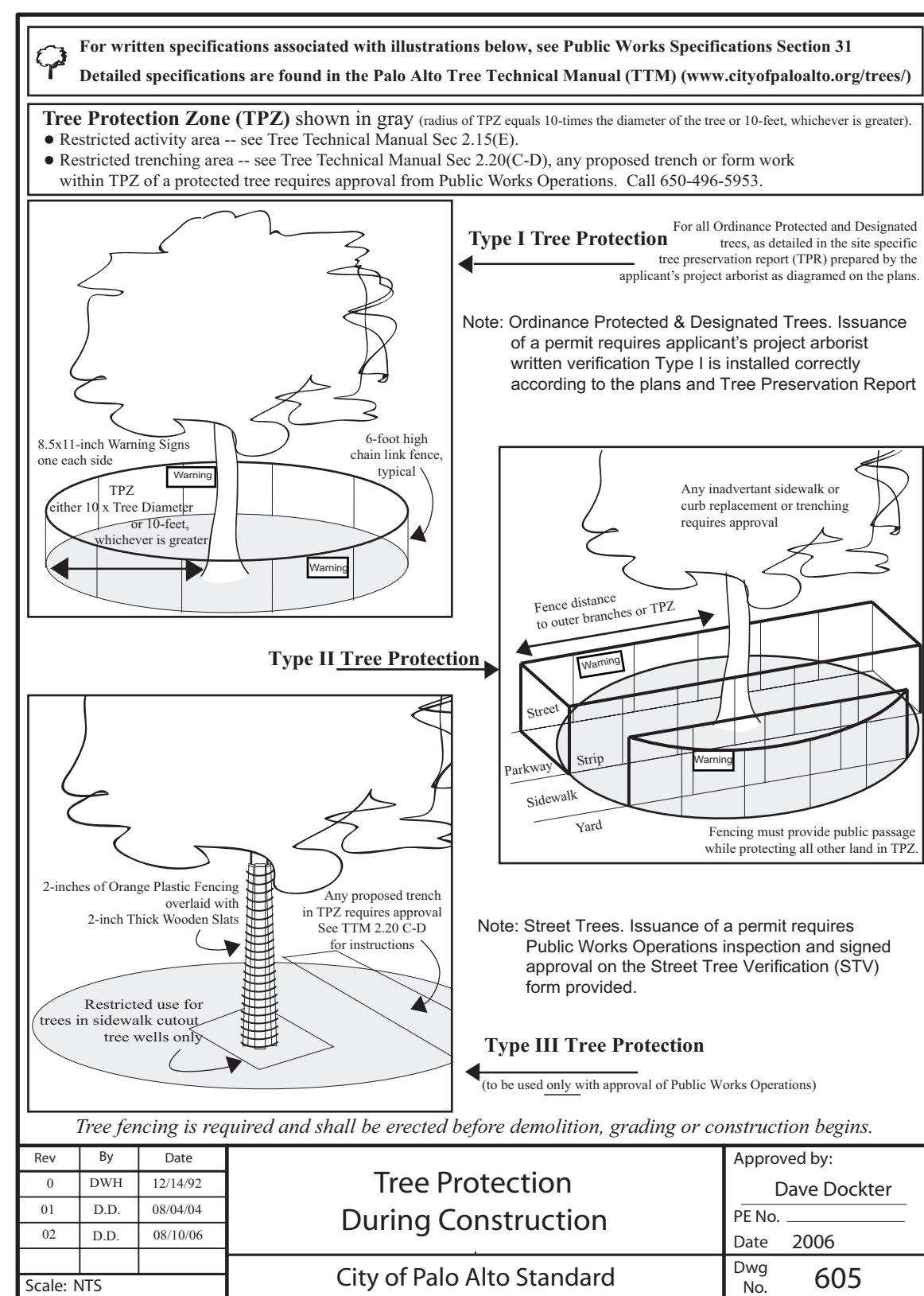


Table 2-1 Palo Alto Tree Technical Manual

CONTRACTOR & ARBORIST INSPECTION SCHEDULE

Reference: the Palo Alto Tree Technical Manual is available at www.cityofpaloalto.org/environment/

ALL CHECKED ITEMS APPLY TO THIS PROJECT:

- Inspection of Protective Tree Fencing** For Public Trees, the Street Tree Verification Form shall be signed by the City Arborist. For Protected Trees, the project site arborist shall provide an initial Monthly Tree Activity Report form with a photograph verifying that he has conducted a field inspection of the trees and that the correct type of protective fencing is in place around the designated tree protection zone (TPZ) prior to issuance of a demolition, grading, or building permit. (See TTM, Verification of Tree Protection, Section 1.39)
- Pre-Construction Meeting** Prior to commencement of construction, the applicant or contractor shall conduct a pre-construction meeting to discuss tree protection with the job site superintendent, grading operators, project site arborist, City Arborist, and, if a city maintained irrigation system is involved, the Parks Manager. (Contact 650-496-6962).
- Inspection of Rough Grading or Trenching** Contractor shall ensure the project site arborist performs an inspection during the course of rough grading or trenching adjacent to or within the TPZ to ensure trees will not be injured by compaction, cut or fill, drainage and trenching, and if required, inspect retention systems, tree wells, drains and special paving. The contractor shall provide the project arborist at least 24 hours advance notice of such activity.
- Monthly Tree Activity Report Inspections.** The project site arborist shall perform a minimum monthly activity inspection to monitor and advise on conditions, tree health and retention or, immediately if there are any revisions to the approved plans or protection measures. The Tree Technical Manual Monthly Tree Activity Report form shall be used and sent to the Planning Dept. landscape review staff no later than 14 days after issuance of building permit date. Fax to (650) 329-2154. (See TTM, Monthly Tree Activity Inspection Report, Addendum 11 & section 1.17)
- Special activity within the Tree Protection Zone.** Work in the TPZ area (see also #7 below) requires the direct onsite supervision of the project arborist (see TTM, Trenching, Excavation & Equipment, Section 2.20 C).
- Landscape Architect Inspection.** For discretionary development projects, prior to temporary or final occupancy the applicant or contractor shall arrange for the Landscape Architect to perform an on site inspection of all plant stock, quality of the materials and planting (see TTM, Planting Quality, Section 5.20.1 A) and that the irrigation is functioning consistent with the approved construction plans. The Planning Dept. landscape review staff shall be in receipt of written verification of Landscape Architect approval prior to scheduling the final inspection, unless otherwise approved.
- List Other** (please describe as called out in the site Tree Preservation Report, Sheet T-1, T-2, etc.)

Respectfully submitted,

Project site arborist
Consultant contact information (include email, cell#, and mailing)
Cc: _____
Enter Date: _____ CPA Monthly Tree Activity Report: Type site address here Page #1 of 1

City of Palo Alto Tree Technical Manual ADDENDUM 11
ARBORIST FIRM DATA HERE
RCA/ISA Certified Arborist #WE-000
Contract # _____

Monthly Tree Activity Report- Construction Site

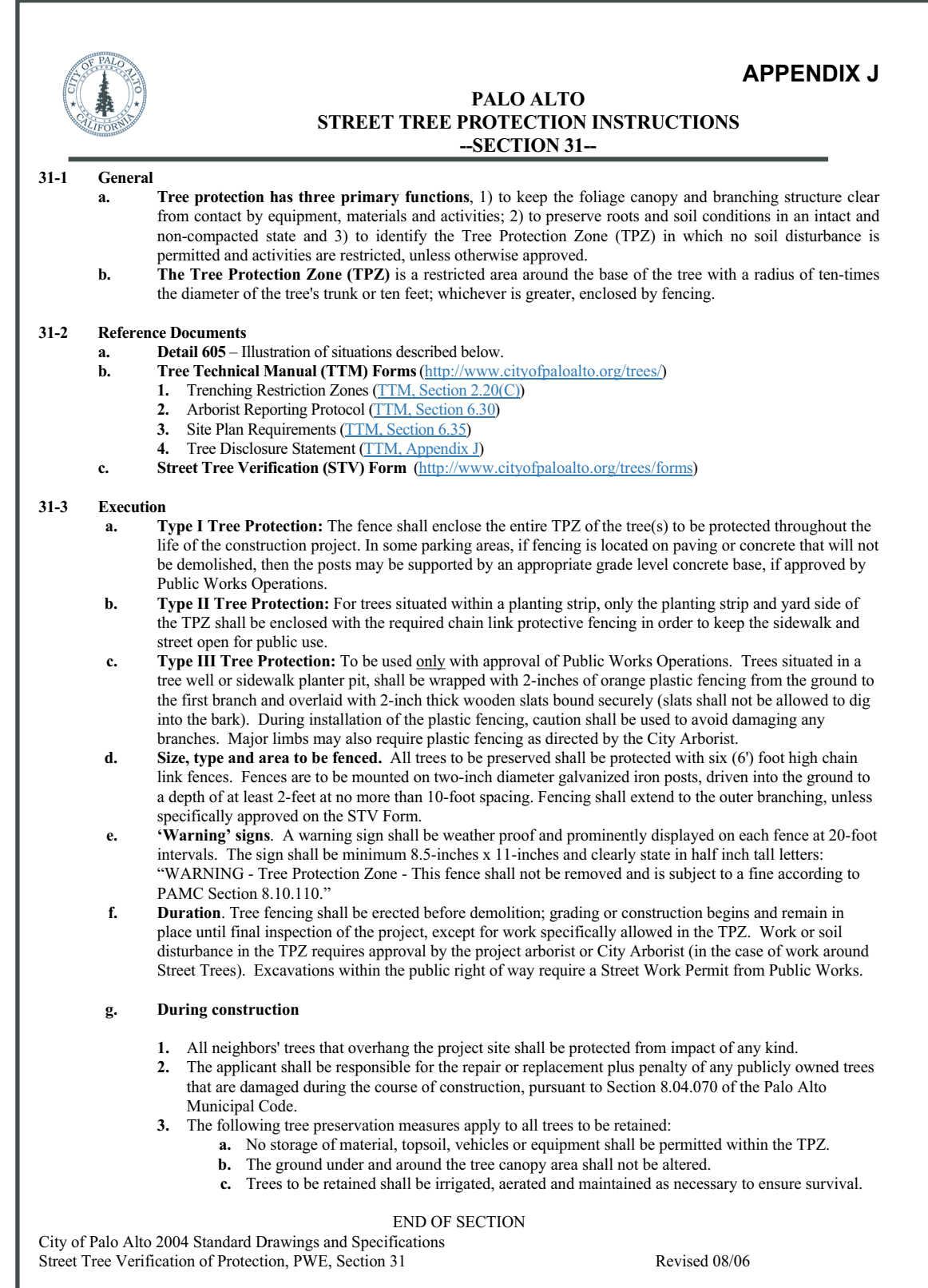
Inspection Date:	Site address:	Contractor- Main Site Contact Information	#1: Job site superintendent
Inspection # _____	Palo Alto, CA	Also present: _____	Company: _____ Job site: _____ Office: _____ Cell: _____ Mail: _____
Distribution:	1 City of Palo Alto 2 Others	Attn: Dave Dockter	Dave.dockter@cityofpaloalto.org 650-329-2440

Provide the requested minimum information with each report, customize as necessary. To be completed by project site arborist. Send monthly to city arborist at above address until project completion. Use additional sheets as needed.

- Assignment Activity (Demolition/grading/sewer/trenching/foundation list relevant visits)
 - Pre-construction meeting requirement with sub-contractors
 - Inspect to verify that tree protection measures are in place
 - Determine if field adjustments, watering or plan revisions may be needed
- Field Observations (general site-wide and list by individual tree number)
 - Tree Protection Fences (TPF) are ...
 - Trenching has/will occur ...
- Action Items (list site-wide, by tree number and date to be satisfied) and Date Due
 - Tree Protection Fence (TPF) needs adjusting (tree #, x, x, x)
 - Root zone buffer material (wood chips) can be installed next
 - Schedule sewer trench, foundation dig with ...
- Photographs (use often)
- Tree Location Map (mandatory 8.5 x 11 sheet)
- Recommendations, notes or monitor items for project/staff/schedule
- Past visits (list carry-over items satisfied/still outstanding)

Respectfully submitted,

Project site arborist
Consultant contact information (include email, cell#, and mailing)
Cc: _____
Enter Date: _____ CPA Monthly Tree Activity Report: Type site address here Page #1 of 1



City of Palo Alto Tree Department
Public Works Operations
PO Box 10250 Palo Alto, CA 94303
650-496-5953 FAX: 650-852-9289
inspections@cityofpaloalto.org

Verification of Street Tree Protection

Applicant Instructions: Complete upper portion of this form. Mail or FAX this form along with signed Tree Disclosure Statement to Public Works Dept. Public Works Tree Staff will inspect and notify applicant.

APPLICATION DATE: _____

ADDRESS/LOCATION OF STREET TREES TO BE PROTECTED: _____

APPLICANT'S NAME: _____

APPLICANT'S ADDRESS: _____

APPLICANT'S TELEPHONE & FAX NUMBERS: _____

This section to be filled out by City Tree Staff

1. The Street Trees at the above address(es) are adequately protected. The type of protection used is: _____ * If NO, go to #2 below

Inspected by: _____

Date of inspection: _____

2. The Street Trees at the above address are NOT adequately protected. The following modifications are required: _____

Indicate how the required modifications were communicated to the applicant: _____

Subsequent Inspection

Street trees at above address were found to be adequately protected: YES NO * If NO, indicate in "Notes" below the disposition of case.

Inspected by: _____

Date of inspection: _____

Notes: List City street trees by species, size, condition and type of tree protection installed. Also note if pictures were taken. Use back of sheet if necessary.

Return approved sheet to Applicant for demolition or building permit issuance.

S:\PND\Ops\Tree\DS\TreeProtect 5/1706

---WARNING---

Tree Protection Zone

This fencing shall not be removed without City Arborist approval (650-496-5953)

Removal without permission is subject to a \$500 fine per day*

*Palo Alto Municipal Code Section 8.10.110

City of Palo Alto Tree Protection Instructions are located at <http://www.city.palo-alto.ca.us/trees/technical-manual.html>

SPECIAL INSPECTIONS

PLANNING DEPARTMENT
TREE PROTECTION INSPECTIONS MANDATORY

PAMC 8.10 PROTECTED TREES: CONTRACTOR SHALL ENSURE PROJECT SITE ARBORIST IS PERFORMING REQUIRED TREE INSPECTION AND SITE MONITORING. PROVIDE WRITTEN MONTHLY TREE ACTIVITY REPORTS TO THE PLANNING DEPARTMENT LANDSCAPE REVIEW STAFF BEGINNING 14 DAYS AFTER BUILDING PERMIT ISSUANCE.

BUILDING PERMIT DATE: _____

DATE OF 1ST TREE ACTIVITY REPORT: _____

CITY STAFF: _____

REPORTING DETAILS OF THE MONTHLY TREE ACTIVITY REPORT SHALL CONFORM TO SHEET T-1 FORMAT. VERIFY THAT ALL TREE PROTECTION MEASURES ARE IMPLEMENTED AND WILL INCLUDE ALL CONTRACTOR ACTIVITY, SCHEDULED OR UNSCHEDULED, WITHIN A TREE PROTECTION ROOT ZONE. NON-COMPLIANCE IS SUBJECT TO VIOLATION OF PAMC 8.10.080. REFERENCE: PALO ALTO TREE TECHNICAL MANUAL SECTION 2.00 AND ADDENDUM 11.

Apply Tree Protection Report on sheet(s) T-2

Use additional "T" sheets as needed

Project 720 Montrose Avenue
Data

T-1

All other tree-related reports shall be added to the space provided on this sheet (adding as needed) Include this sheet(s) on Project Sheet Index or Legend Page. A copy of T-1 can be downloaded at <http://www.cityofpaloalto.org/civica/filebank/blobload.asp?BlobID=6460>

Special Tree Protection Instruction Sheet
City of Palo Alto

T-1