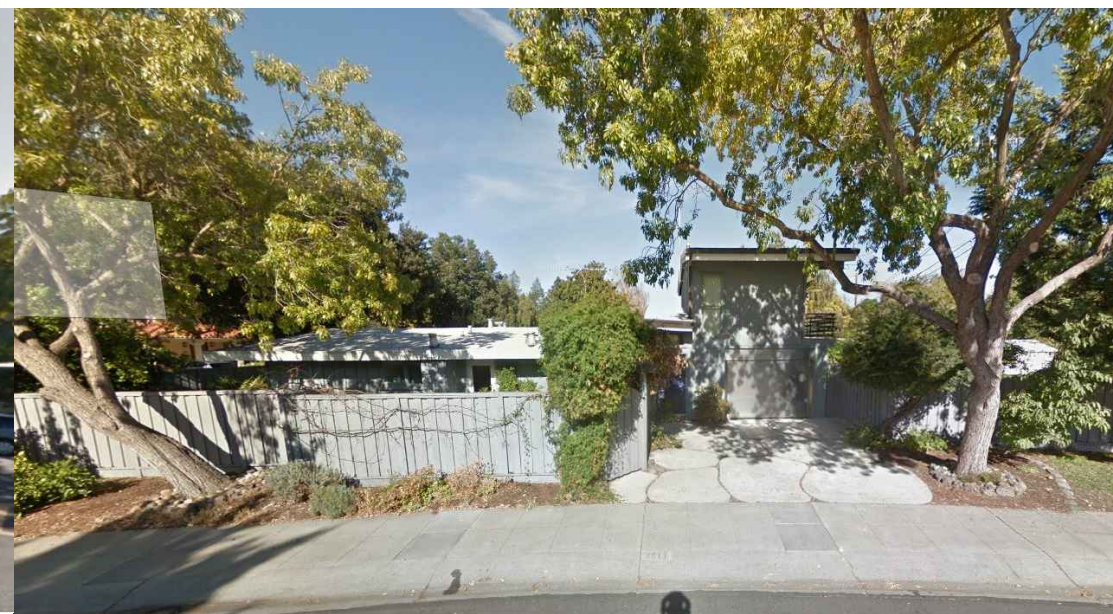




610 ALGER DRIVE



3511 COWPER STREET

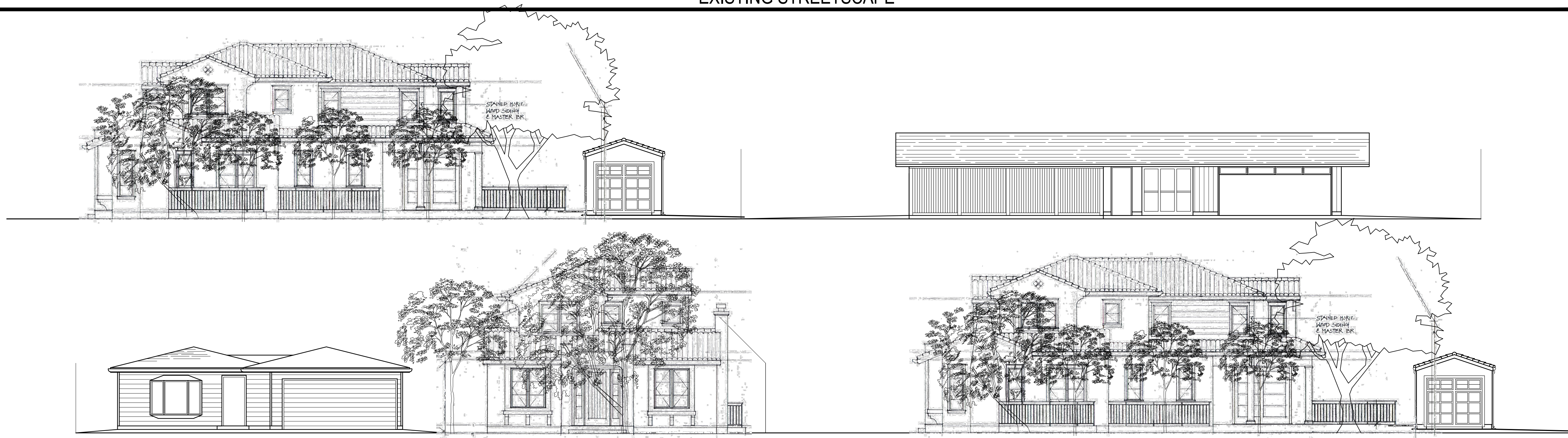


3511 COWPER STREET



3525 COWPER STREET

EXISTING STREETScape



1/8"=1'-0"

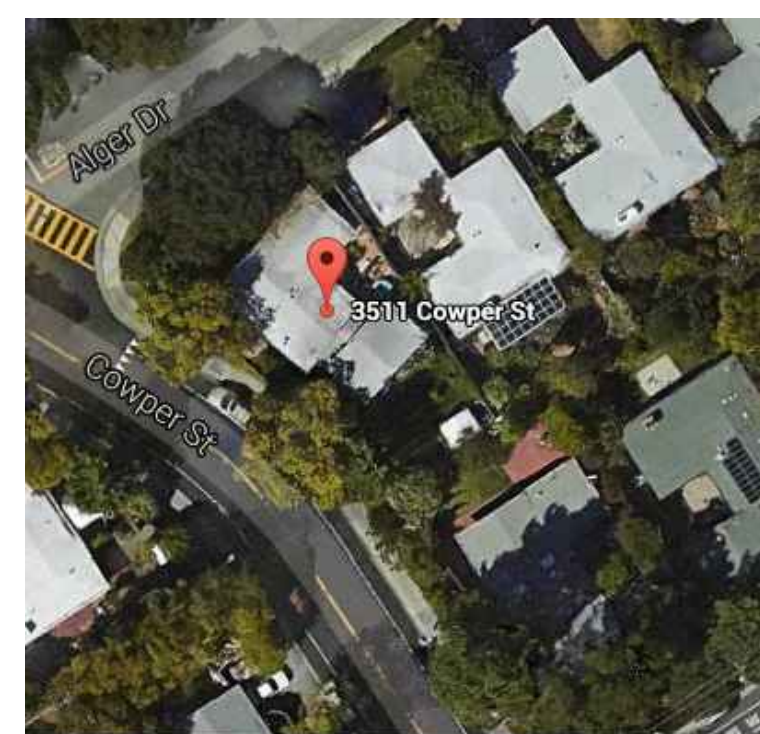
INSTALL A 13-D FIRE SPRINKLER SYSTEM INCLUDING FULL COVERAGE IN THE ATTIC UNDER SEPARATE PERMIT.

PROPOSED STREET SCape

BLOCK MAP



TOP VIEW



DEFERRED PERMIT

INSTALL A NFPA 13-D FIRE SPRINKLER SYSTEM UNDER SEPARATE PERMIT  
 FIRE SPRINKLER PROTECTION WILL BE REQUIRED AT STORAGE AREA AND COVERED PORCHES.  
 AUTOMATIC FIRE EXTINGUISHING SYSTEM (AFES) PERMIT IS A DEFERRED PERMIT. SEPARATED FIRE CODE PERMIT, PLAN CALCULATIONS, DETAILS AND SPECIFICATIONS WILL BE SUBMITTED AND APPROVED BY THE CPA FIRE DEPARTMENT.  
 DEFERRED SUBMITTALS TO BE REVIEWED BY PROJECT ARCHITECT OR ENGINEER OF RECORD AND CERTIFIED PRIOR TO SUBMITTAL FOR PLAN REVIEW.

VICINITY MAP



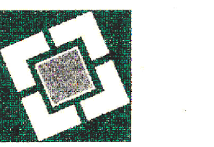
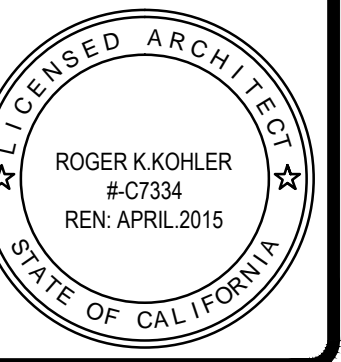
PROJECT DATA

**PROJECT DATA**  
 3511 COWPER STREET  
 APN: 132-05-026  
 ZONE DISTRICT: R-1  
 PROJECT IS NOT SUBJECT TO CONTEXTUAL FRONT YARD SETBACK  
 PROJECT IS NOT IN THE FLOOD ZONE

SHEET INDEX

- TP VICINITY MAP, NEIGHBORHOOD CONTEXT, SUMMARY, STREET SCAPE, PROJECT DATA
- T1 CITY OF PALO ALTO SPECIAL TREE PROTECTION SHEET
- T2 TREE REPORT
- GB1 GREEN POINT CHECKLIST
- A1 ARCHITECTURAL SITE PLAN, LOT SUMMARY
- A2 BASEMENT PLAN
- A3 FIRST FLOOR PLAN
- A4 SECOND FLOOR PLAN
- A5 ROOF PLAN
- A6 EXTERIOR ELEVATIONS
- A7 EXTERIOR ELEVATIONS
- A8 BUILDING SECTIONS
- G1 GARAGE
- FA1 FLOOR AREA WORKSHEET
- FA2 FLOOR AREA WORKSHEET
- C0 SURVEY

REVISIONS	BY
08.14.15	
10.06.15	



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NEW RESIDENCE FOR:  
 GRACE LI  
 3511 COWPER STREET  
 PALO ALTO, CALIFORNIA

TITLE PAGE

DRAWN	U.D.
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DATE	03.12.15
SCALE	
JOB NO.	3511 COWPER ST.
SHEET	

TP

OF SHEETS



# LEGEND

**SITE PLAN LEGEND:**

---	PROPERTY LINE
- - - -	SETBACK LINE
⊔	EXISTING STRUCTURE TO BE REMOVED
▭	NEW FIRST FLOOR
▭	NEW SECOND FLOOR
○ 16" TREE	TREE: TRUNK DIAMETER IN INCHES
×	TREE TO BE REMOVED
x 23.2	EXISTING SPOT ELEVATION

# FLOOR AREA

**LOT COVERAGE SUMMARY:**

LOT AREA	6,051.00 SQ. FT.
FIRST FLOOR	1,406.69 SQ. FT.
GARAGE	225.59 SQ. FT.
SECOND FLOOR OVERHANG	45.92 SQ. FT.
FRONT PORCH	51.54 SQ. FT.
BACK PORCH	71.10 SQ. FT.
BAY WINDOW	28.00 SQ. FT.
TOTAL	1,828.84 SQ. FT. 30.22 %
ALLOWABLE	2,117.85 SQ. FT. 35.0 %

**FLOOR AREA SUMMARY:**

FIRST FLOOR	1,406.69 SQ. FT.
SECOND FLOOR	932.06 SQ. FT.
GARAGE	225.59 SQ. FT.
TOTAL FLOOR AREA	2,564.34 SQ. FT.
ALLOWABLE FLOOR AREA	2,565.30 SQ. FT.
BASEMENT	1,383.30 SQ. FT.

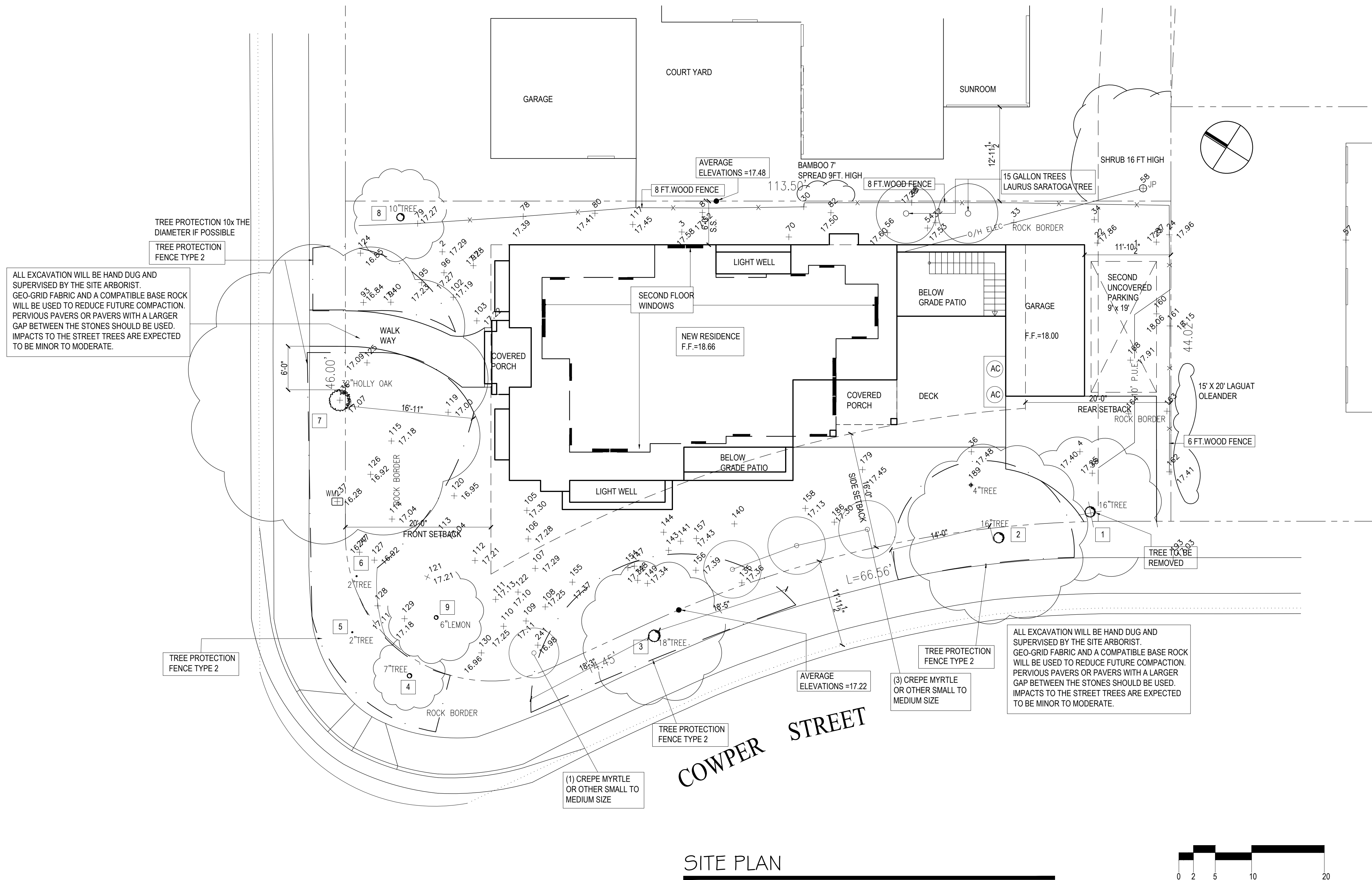
"REGULATED TREE-BEFORE WORKING IN THIS AREA CONTACT CPA PUBLIC WORKS ARBORIST AT 650.496.5933"

"PROTECTED TREE-BEFORE WORKING IN THIS AREA CONTACT THE PROJECT ARBORIST KEVIN KIELTY AT 650.515.9783"

THE PROPOSED DRIVEWAY WILL BE WITHIN THE DRIPLINE OF THE PROTECTED STREET TREE. FERTILIZE THIS TREE WITH 200 GALLONS OF 22-14-14 PRIOR TO START CONSTRUCTION. GEO-GRID FABRIC AND A COMPATIBLE BASE ROCK WILL BE USED TO REDUCE FUTURE COMPACTION. PERVIOUS PAVERS OR PAVERS WITH A LARGER GAP BETWEEN THE STONES SHOULD BE USED.

**TREE PROTECTION PLAN:**  
 TREE PROTECTION FENCING  
 TREE PROTECTION ZONES SHOULD BE ESTABLISHED AND MAINTAINED THROUGHOUT THE ENTIRE LENGTH OF THE PROJECT. FENCING FOR THE PROTECTION ZONES SHOULD BE 6 FOOT TALL METAL CHAIN LINK TYPE SUPPORTED MY 2 INCH METAL POLES POUNDED INTO THE GROUND BY NO LESS THAN 2 FEET. THE SUPPORT POLES SHOULD BE SPACED NO MORE THAN 10 FEET APART ON CENTER. THE LOCATION FOR THE PROTECTION FENCING SHOULD BE AS CLOSE TO THE DRIPLINE AS POSSIBLE STILL ALLOWING ROOM FOR CONSTRUCTION TO SAFELY CONTINUE. SIGNS SHOULD BE PLACED ON FENCING SIGNIFYING "TREE PROTECTION ZONE - KEEP OUT". NO MATERIALS OR EQUIPMENT SHOULD BE STORED OR CLEANED INSIDE THE TREE PROTECTION ZONES. AREAS OUTSIDE THE FENCING BUT STILL BENEATH THE DRIPLINE OF PROTECTED TREES, WHERE FOOT TRAFFIC IS EXPECTED TO BE HEAVY, SHOULD BE MULCHED WITH 4 TO 6 INCHES OF CHIPPER CHIPS. ALL OF THE PROTECTED TREES ARE STREET TREES AND TYPE 2 TREE PROTECTION WILL BE USED.

**TRENCHING AND EXCAVATION**  
 TRENCHING FOR IRRIGATION, ELECTRICAL, DRAINAGE OR ANY OTHER REASON SHOULD BE HAND DUG WHEN BENEATH THE DRIPLINES OF PROTECTED TREES. HAND DIGGING AND CAREFULLY LAYING PIPES BELOW OR BESIDE PROTECTED ROOTS WILL DRAMATICALLY REDUCE ROOT LOSS OF DESIRED TREES THUS REDUCING TRAUMA TO THE ENTIRE TREE. TRENCHES SHOULD BE BACKFILLED AS SOON AS POSSIBLE WITH NATIVE MATERIAL AND COMPACTED TO NEAR ITS ORIGINAL LEVEL. TRENCHES THAT MUST BE LEFT EXPOSED FOR A PERIOD OF TIME SHOULD ALSO BE COVERED WITH LAYERS OF BURLAP OR STRAW WATTLE AND KEPT MOIST. PLYWOOD OVER THE TOP OF THE TRENCH WILL ALSO HELP PROTECT EXPOSED ROOTS BELOW.

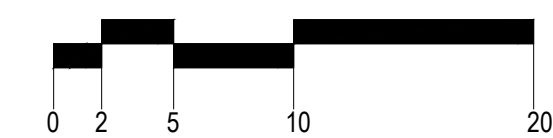


ALL EXCAVATION WILL BE HAND DUG AND SUPERVISED BY THE SITE ARBORIST. GEO-GRID FABRIC AND A COMPATIBLE BASE ROCK WILL BE USED TO REDUCE FUTURE COMPACTION. PERVIOUS PAVERS OR PAVERS WITH A LARGER GAP BETWEEN THE STONES SHOULD BE USED. IMPACTS TO THE STREET TREES ARE EXPECTED TO BE MINOR TO MODERATE.

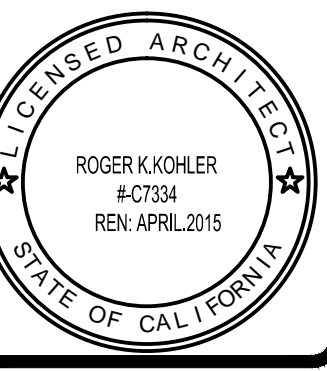
ALL EXCAVATION WILL BE HAND DUG AND SUPERVISED BY THE SITE ARBORIST. GEO-GRID FABRIC AND A COMPATIBLE BASE ROCK WILL BE USED TO REDUCE FUTURE COMPACTION. PERVIOUS PAVERS OR PAVERS WITH A LARGER GAP BETWEEN THE STONES SHOULD BE USED. IMPACTS TO THE STREET TREES ARE EXPECTED TO BE MINOR TO MODERATE.

SITE PLAN

1/8" = 1'-0"



REVISIONS	BY
08.14.15	
10.06.15	



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NEW RESIDENCE FOR:  
 GRACE LI  
 3511 COWPER STREET  
 PALO ALTO, CALIFORNIA

SITE PLAN

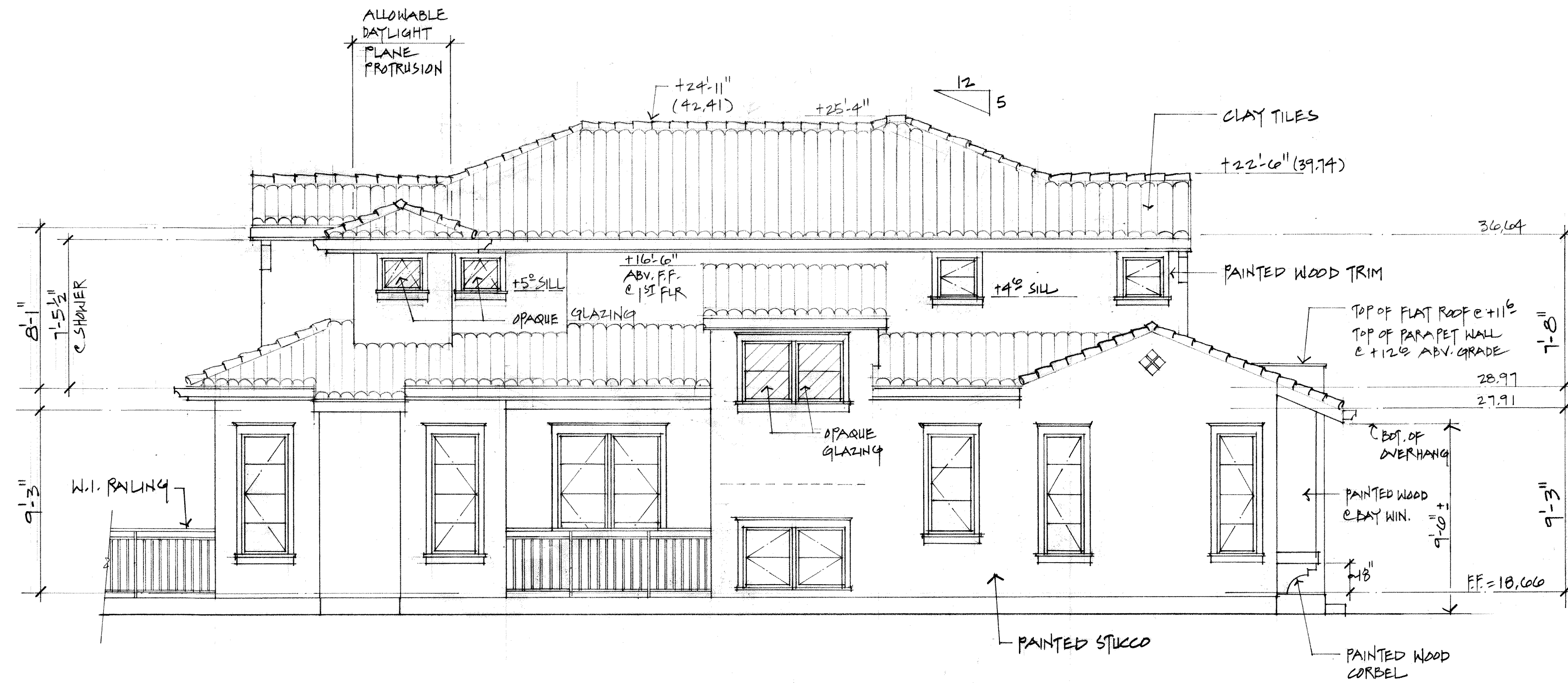
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DATE	03.24.15
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JOB NO.	3511 COWPER ST.
SHEET	

A1

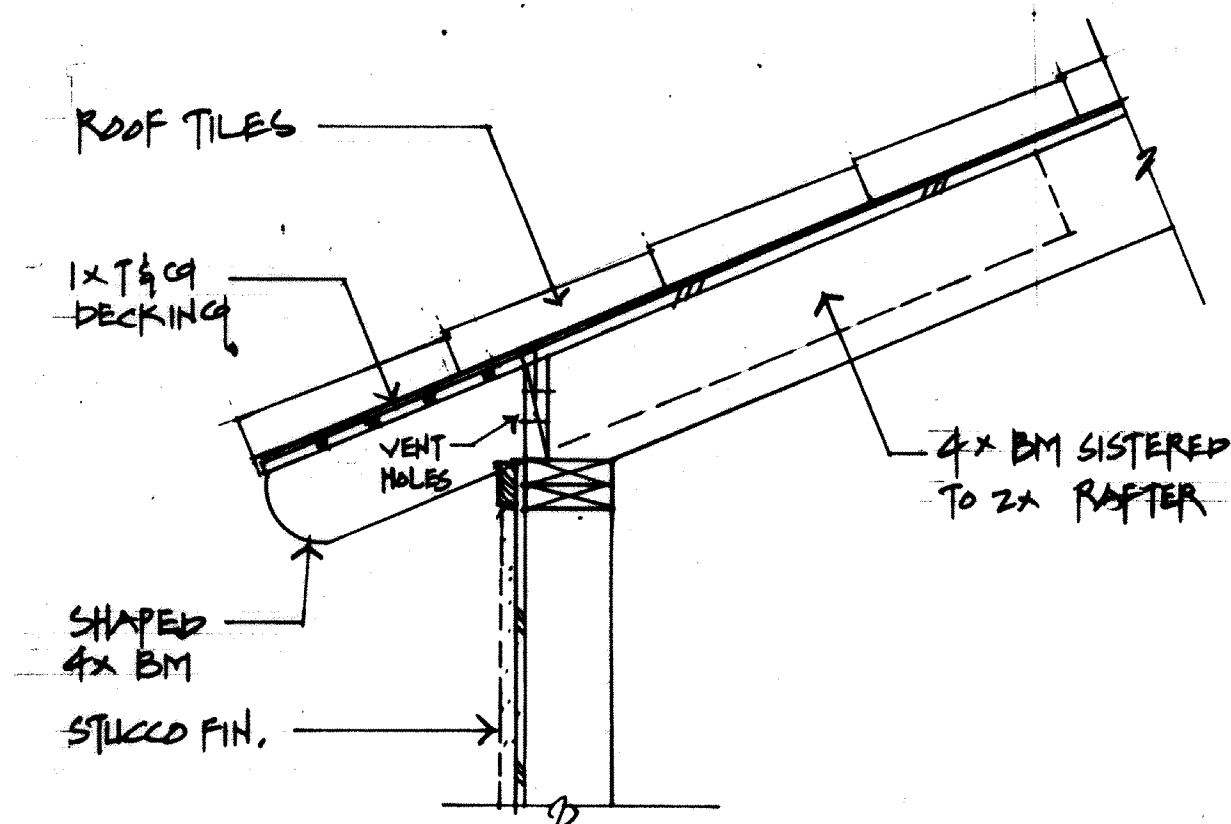
OF SHEETS

**EXTERIOR FINISH SCHEDULE:**

- ROOF: "S" STYLE CLAY TILES
- EXTERIOR WALLS: PAINTED STUCCO W/ SMOOTH FINISH & STAINED HORIZONTAL WOOD SIDING AT MATER BEDROOM WALLS
- EXTERIOR COLUMNS: PAINTED STUCCO COLUMNS
- EAVES AND TRIM: PAINTED WOOD
- WINDOWS: CLAD WINDOWS W/ CLEAR INSULATED GLASS W/ APPLIED MUNTIN BARS ON BOTH SIDES
- DOORS: CLAD DOORS
- WINDOW SILLS: PAINTED WOOD OR MANUFACTURED LIGHT WEIGHT STONE TRIM
- GUTTER, SHEET METAL: PAINTED SHEET METAL
- RAILING: WROUGHT IRON
- GARAGE DOOR: PAINTED OVERHEAD WOOD DOOR
- DRIVEWAY, PATIO: CONCRETE / PAVERS



LEFT SIDE ELEVATION

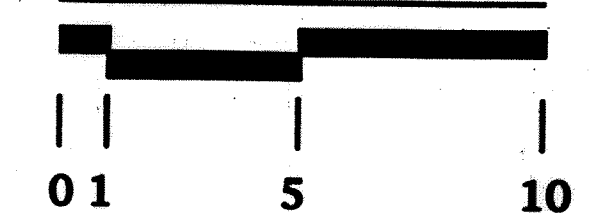


A EAVE DETAIL 1" = 1'-0"



FRONT ELEVATION

SCALE FEET



REVISIONS	BY
8.14.15	
10.6.15	

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PALO ALTO, CALIFORNIA

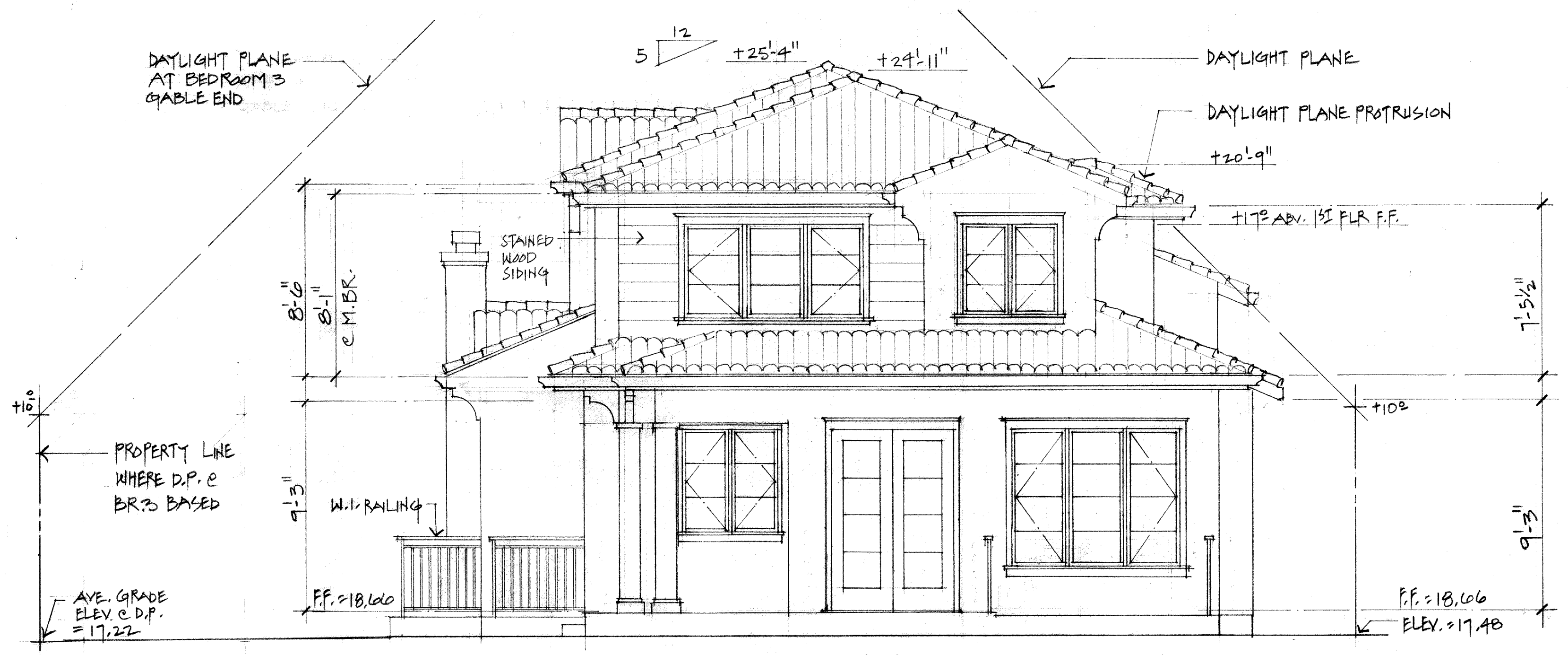
EXTERIOR ELEVATIONS

DRAWN  
CHECKED  
DATE 3.12.15  
SCALE 1/4" = 1'-0"  
JOB NO. 3511 COWPER  
SHEET

**A6**  
OF SHEETS



REVISIONS	BY
8.14.15	
10.6.15	



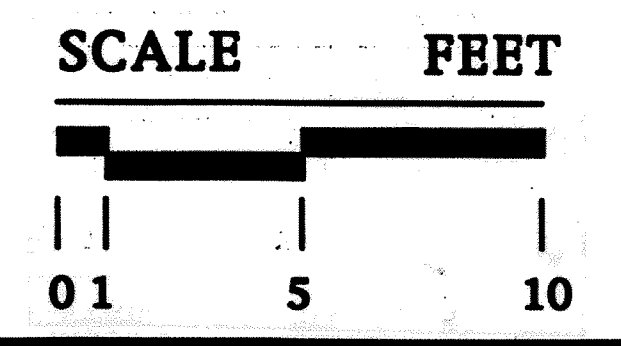
REAR ELEVATION

1/4" = 1'-0"



RIGHT SIDE ELEVATION

1/4" = 1'-0"



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**GRACE LI**  
3511 COWPER STREET  
PALO ALTO, CALIFORNIA

EXTERIOR ELEVATIONS

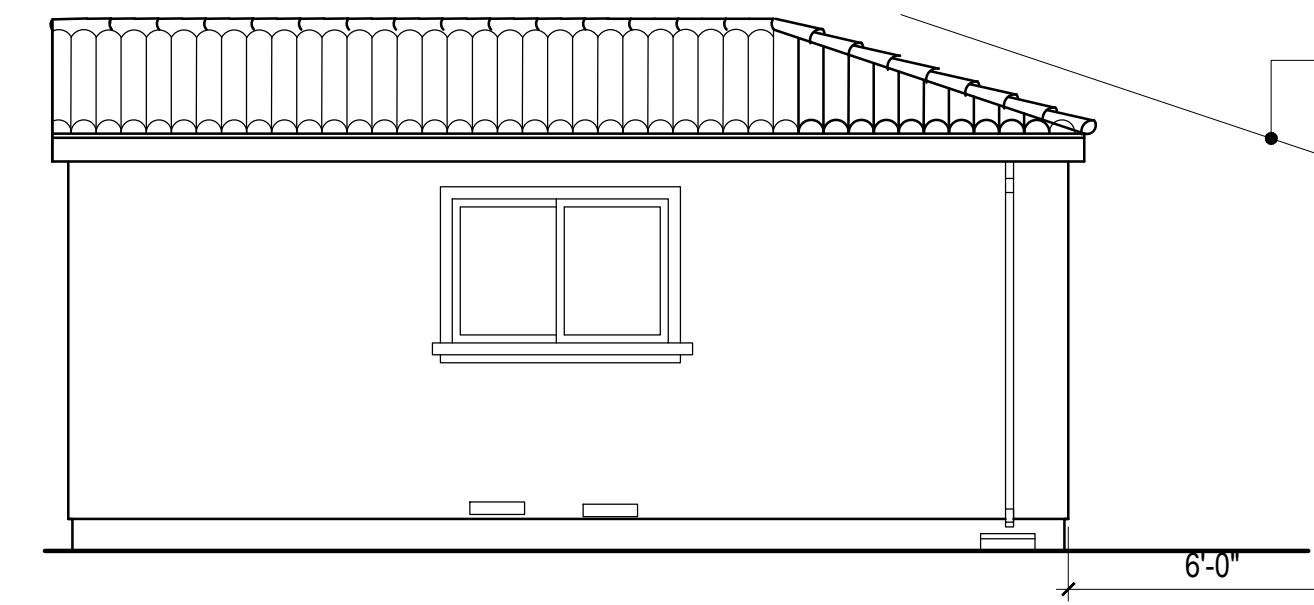
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CHECKED
DATE 8.12.15
SCALE 1/4" = 1'-0"
JOB NO. 3511 COWPER
SHEET

**A7**

OF SHEETS

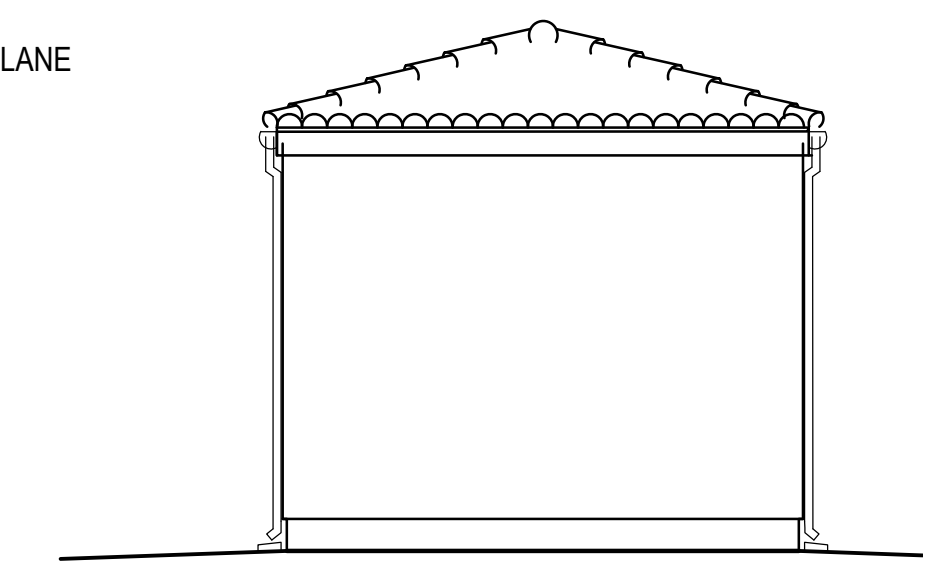
EXTERIOR FINISH SCHEDULE:

- ROOF: "S" STYLE CLAY TILES
- EXTERIOR WALLS: PAINTED STUCCO W/ SMOOTH FINISH
- EAVES AND TRIM: PAINTED WOOD
- WINDOWS: CLAD WINDOWS W/ CLEAR INSULATED GLASS W/ APPLIED MUNTIN BARS ON BOTH SIDES
- DOOR: CLAD DOORS
- WINDOW SILLS: PAINTED WOOD OR MANUFACTURED LIGHT WEIGHT STONE TRIM
- GUTTER, SHEET METAL: PAINTED SHEET METAL
- GARAGE DOOR: PAINTED OVERHEAD WOOD DOOR
- DRIVEWAY, PATIO: CONCRETE / PAVERS



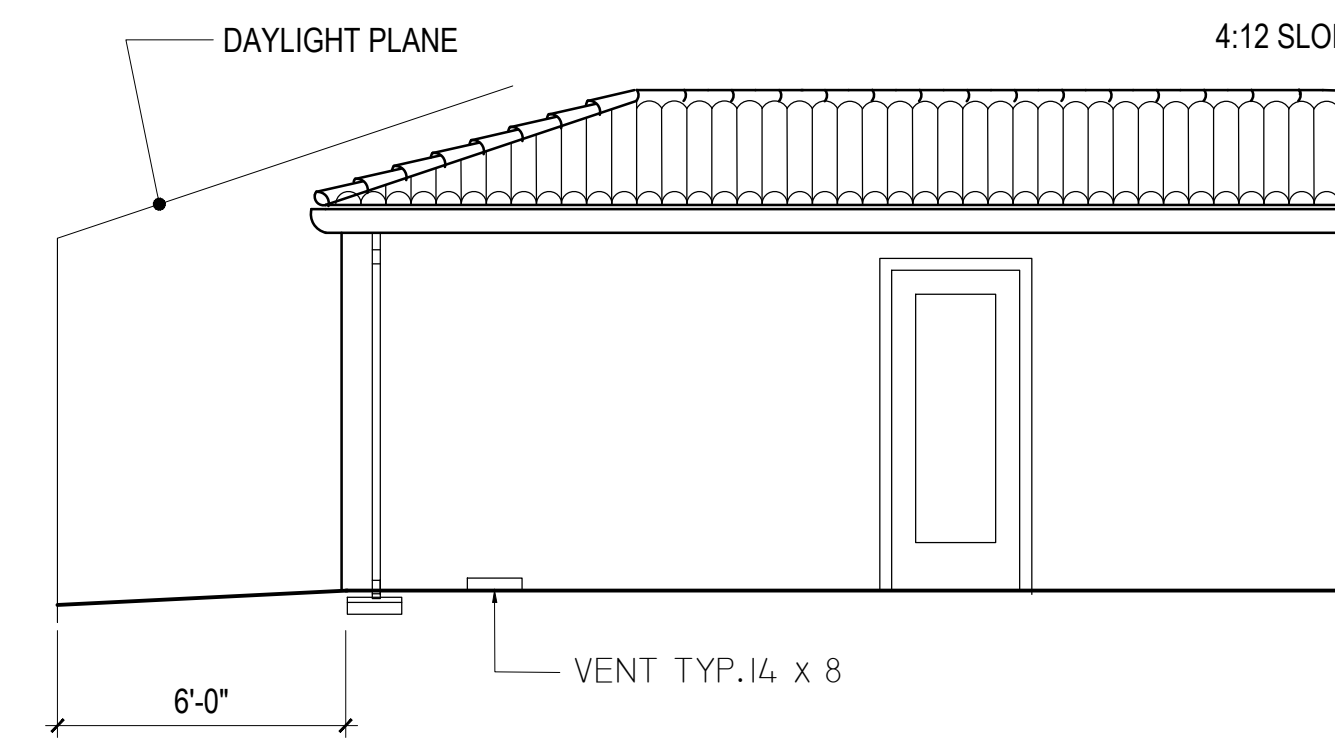
RIGHT SIDE ELEVATION

1/4" = 1'-0"



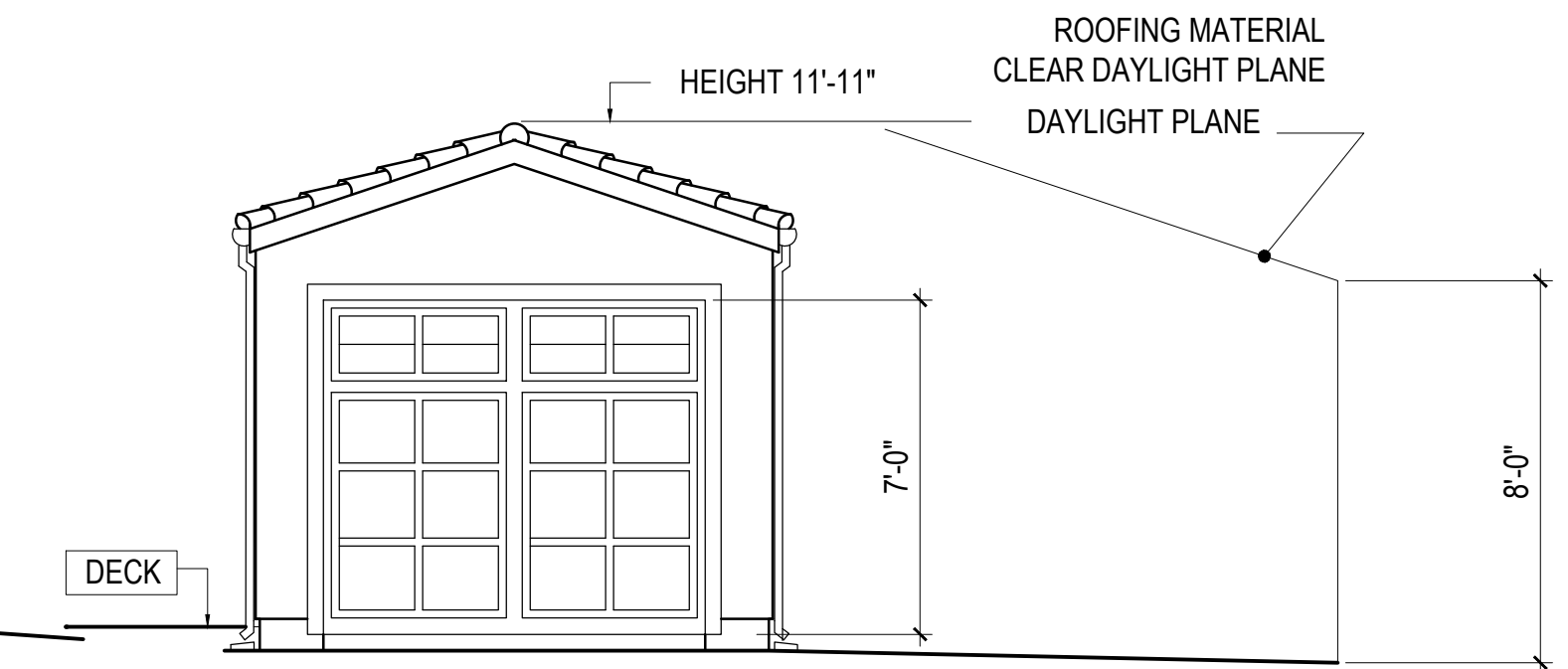
REAR ELEV.

1/4" = 1'-0"



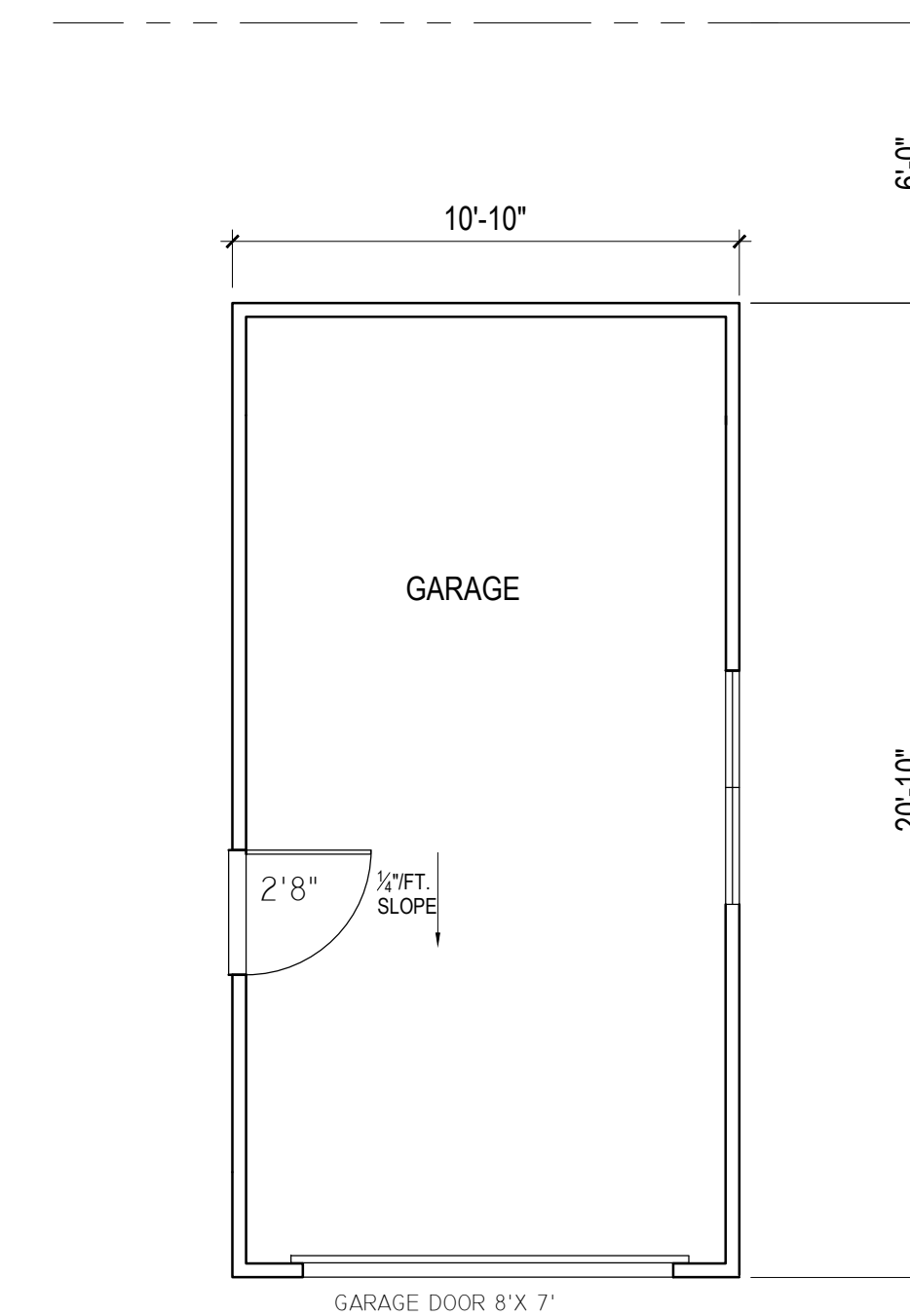
LEFT SIDE ELEVATION

1/4" = 1'-0"



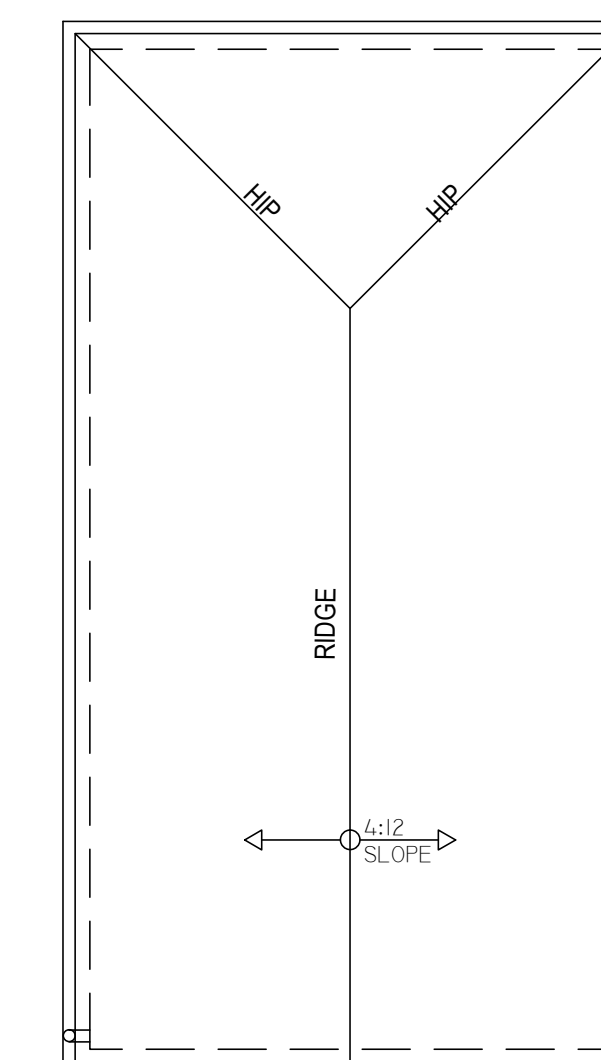
FRONT ELEV.

1/4" = 1'-0"



FLOOR PLAN

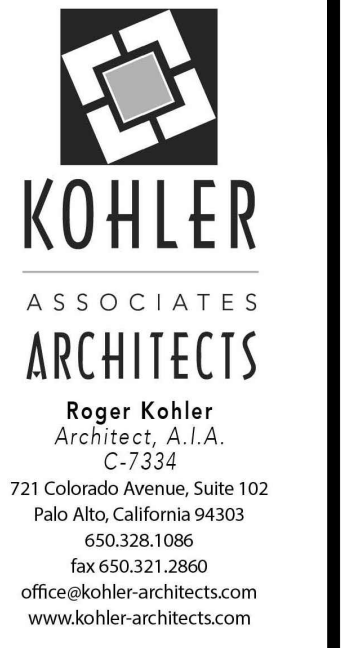
1/4" = 1'-0"



ROOF PLAN

1/4" = 1'-0"

REVISIONS	BY



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PALO ALTO, CALIFORNIA

GARAGE PLAN

DRAWN U.D.
CHECKED
DATE 03.12.15
SCALE 1/4" = 1'-0"
JOB NO. 3511 COWPER ST.
SHEET

G1

OF SHEETS



LI  
RESIDENCE

3511 COWPER STREET  
PALO ALTO, CA  
APN: 132-05-026

W E C  
& ASSOCIATES

2623 MIDDLEFIELD RD #658  
PALO ALTO, CA 94306  
TEL: (650) 823-6466  
FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



ISSUED	No.	Description	Date

DATE: FEB 2, 2014  
SCALE: 1/8"=1'-0"  
DRAWN: BG  
JOB: 10078

SHEET TITLE:

TOPOGRAPHIC  
SURVEY

SHEET NO.

C.0

- LEGEND:**
- AC ASPHALT CONCRETE
  - BC BUILDING CORNER
  - BW BACK OF WALK
  - CB CATCH BASIN
  - CMP CORRUGATED METAL PIPE
  - CO CLEAN OUT
  - CRN CROWN
  - CRW CROWN WALK
  - EW EDGE OF CONCRETE
  - EM ELECTRIC METER
  - EP EDGE OF PAVEMENT
  - FCOR FENCE CORNER
  - FD FOUND
  - FF FINISHED FLOOR
  - FL FLOW LINE
  - FW FRONT OF WALK
  - G GROUND
  - GC GROUND CORNER
  - GC GARAGE FACE/FRONT
  - GM GROUND AT FENCE
  - GM GAS METER
  - HCR HANDICAP RAMP
  - INV INVERT
  - IP IRON PIPE
  - JP JOINT POLE
  - LG LIP OF GUTTER
  - O/H OVERHEAD
  - PC PERCENT CORNER
  - PC PERCENT WALL
  - SI STREET LIGHT
  - SSCO SANITARY SEWER CLEANOUT
  - SSMH SANITARY SEWER MANHOLE
  - SOMH STORM DRAIN MANHOLE
  - TBC TOP BACK ROLLED CURB
  - TC TOP OF CURB
  - TDE TOP OF BANK
  - TP TOP OF PAVEMENT
  - TRC TOP ROLLED CURB
  - TRW TOP OF WALK
  - U/G UNDERGROUND
  - VCP VITRIFIED CLAY PIPE
  - WM WATER VALVE
  - WM WATER METER BOX
  - WM WATER METER
  - WM CABLE TELEVISION LINE
  - WM ELECTRICAL LINE
  - WM GAS LINE
  - WM SANITARY SEWER LINE
  - WM STORM DRAIN LINE
  - WM TELEPHONE LINE
  - WM WATER LINE

**BASIS OF BEARINGS:**  
THE BEARING, N57°59'30"W, OF THE CENTER LINE OF COWPER STREET, AS SHOWN ON THIS CERTAIN MAP FILED IN THE OFFICE OF THE COUNTY CLERK OF CALIFORNIA, COUNTY OF CALIFORNIA, IN BOOK 31 OF MAPS AT PAGE 40, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

**BASIS OF ELEVATION:**  
BM 2457, E. MEADOW/WATERLEY, 0/S N.W. COR. N.E. RET. ELEVATION(029)=19.16 ELEVATION(089)=21.96, NAVD88 USED IN PLAN

**UTILITY NOTE:**  
UNDERGROUND UTILITIES - SHOWN PER SURFACE RECORD MAPS. MAKE SURE TO CALL BEFORE EXCAVATION. CALL UNDERGROUND SERVICE ALERT (USA) 1-800-442-2444.

**LEGAL DESCRIPTION:**  
LOT 40, BLOCK 5, MAP REF. BOOK 31 PAGE 39, 40 AND 41

**FLOOD ZONE INFO:**  
NOT IN FLOOD ZONE

**NOTE:**  
1. BOUNDARY DATA COMPILED FROM RECORD INFORMATION  
2. MEASUREMENT OF BUILDING LINE IS TO THE FACE OF STUCCO OR SIDING

