

608 FULTON STREET

PALO ALTO, CA 94301

NEW TWO-STORY RESIDENCE INDIVIDUAL REVIEW

PERMIT SUBMISSION SET



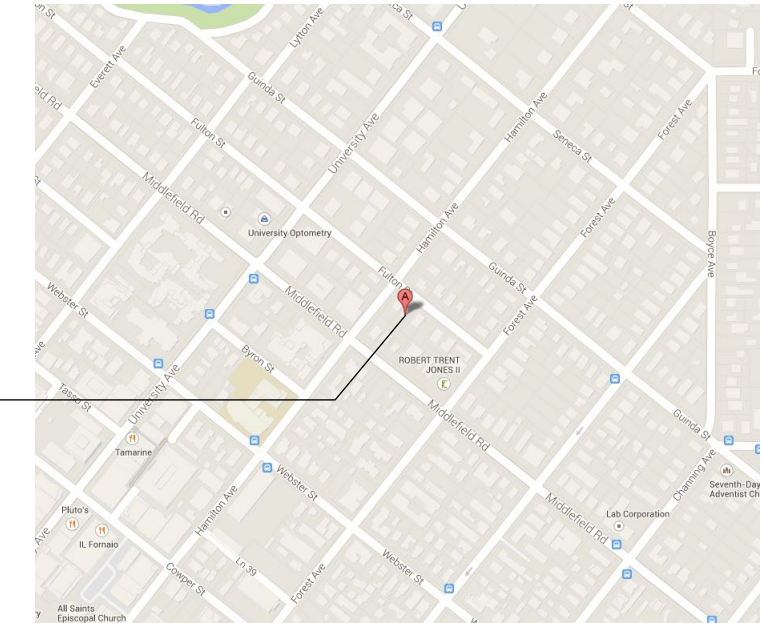
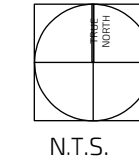
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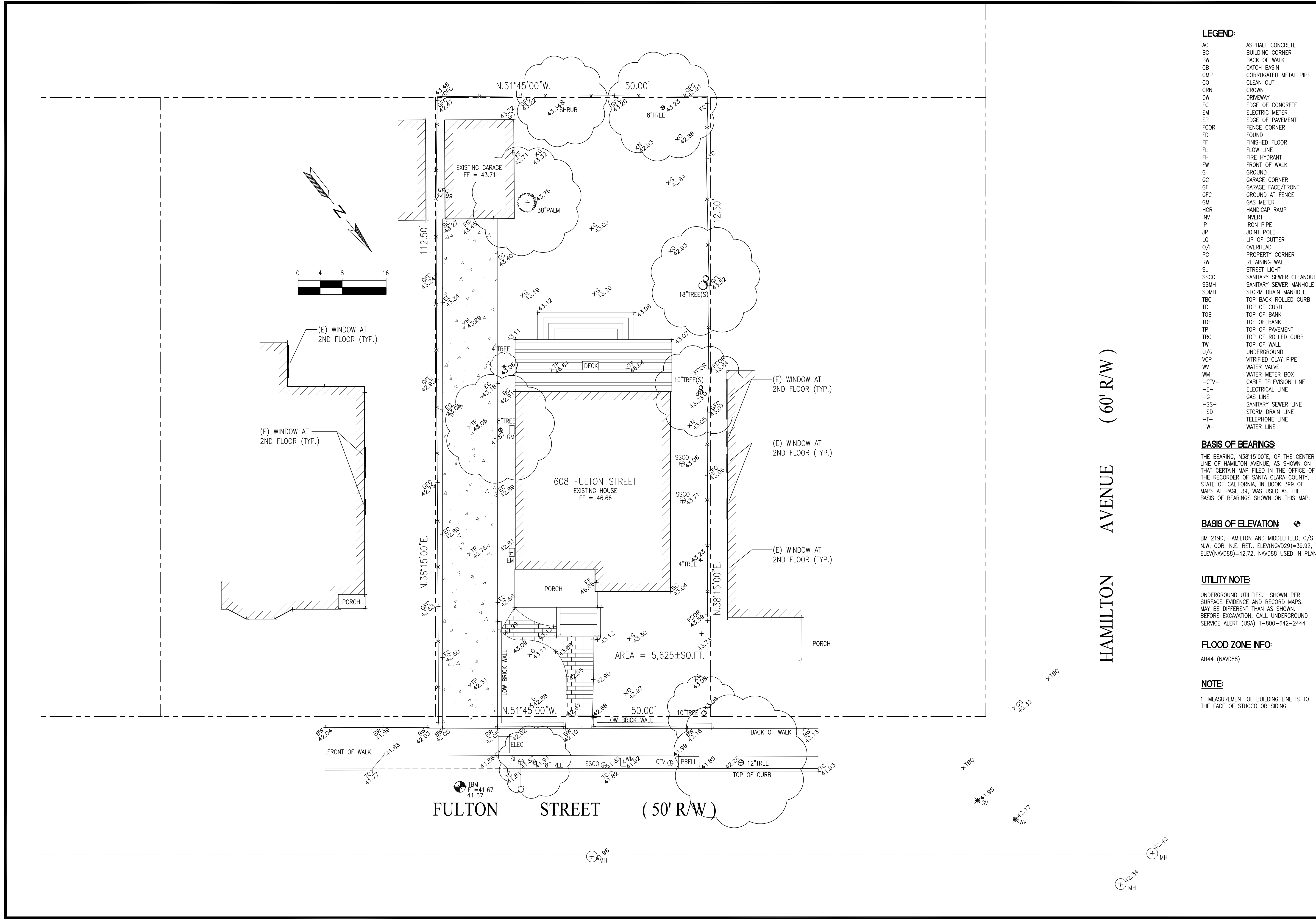
Sheet Revisions:
△

YOUNG RESIDENCE
NEW TWO-STORY RESIDENCE
608 FULTON STREET
PALO ALTO, CA 94301



PROPOSED WEST (FRONT) ELEVATION (SEE A3.1 FOR DETAILS) **1**
SCALE 1/4" = 1'-0"

PROJECT TEAM	VICINITY MAP	PRELIMINARY REVIEW:	ZONING INFORMATION	PROJECT INFORMATION	DRAWING INDEX
<p>OWNER JOHN AND GLORIA YOUNG 608 FULTON AVENUE PALO ALTO, CA 94301</p> <p>LAND SURVEYOR / CIVIL ENGINEER WEC & ASSOCIATES 2625 MIDDLEFIELD RD #658 PALO ALTO, CA 94306 650.823.6466 PH 650.987.0321 FAX CONTACT: ED WU</p> <p>STRUCTURAL ENGINEER T.B.D.</p>	<p>GENERAL CONTRACTOR / DESIGNER ALIS CONSTRUCTION & REMODELING, INC. 1011 SOUTH DE ANZA BLVD, SAN JOSE, CA 95129 PH: 408-441-0967 CONTACT: KYLE CHAN kyle@kylechan.com alis_construction@yahoo.com</p>  <p>SITE</p> 	<p>A PRELIMINARY PLANNING REVIEW WAS CONDUCTED FOR THIS PROJECT ON 4/29/2015 WITH CITY PLANNER LEE MEL PRELIM APPLICATION NUMBER: 15PLN-00149</p>	<p>PER PALO ALTO MUNICIPAL CODE: ZONING DISTRICT R-1 LOT SIZE 5,625 SF</p> <p>ALLOWABLE SITE COVERAGE CALCULATION: MAX ALLOWABLE LOT COVERAGE (35% LOT) 1,969 SF (+281 SF) (+5% SITE AREA PATIOS/OVERHANGS) 2,250 SF ALLOWED TOTAL</p> <p>PROPOSED LOT COVERAGE (SEE AREA CALCS, A0.5) HOUSE FIRST FLOOR = 1215 SF GARAGE = 228 SF</p> <p>FRONT PATIO = 11 SF BACK PATIO = 445 SF TOTAL LOT COVERAGE 1,899 SF < 2,250 SF</p> <p>ALLOWABLE F.A.R. F.A.R. (>5000 SF) = (45%)(5000) + (30%)(625)(AREA ABOVE 5000 SF) 2250 SF + 188 SF 2438 SF</p> <p>PROPOSED FAR (SEE AREA CALCS, A0.2) FIRST FLOOR = 1225 SF SECOND FLOOR = 985 SF GARAGE = 228 SF TOTAL = 2438 SF</p> <p>CONTEXTUAL SETBACK SEE A0.5</p> <p>SPECIAL FLOOD HAZARD AREA YES, AH44 FLOOD ELEVATION = + 44' SEE A3.1 FOR BASE FLOOR ELEVATION ABOVE FLOOD ELEVATION</p> <p>GARAGE LOCATION TO REMAIN AT BACK OF SITE TO MATCH EXISTING</p>	<p>PROJECT DESCRIPTION: 1. NEW RESIDENTIAL BUILDING CONSTRUCTION, WITH 4 BEDROOMS, AND 3 BATHROOMS. 2. NEW 1-CAR GARAGE ACCESSORY STRUCTURE AT THE BACK OF THE SITE.</p> <p>APN: 003-32-017</p> <p>CONSTRUCTION TYPE: V-B</p> <p>OCCUPANCY: R-3 / U</p> <p>BUILDING CODES: 2013 CBC (BASED ON 2012 IBC) 2013 CRC (BASED ON 2012 IRC) 2013 CEC (BASED ON 2011 NEC) 2013 CMC (BASED ON 2012 UMC) 2013 CPC (BASED ON 2012 UPC) 2013 CALIFORNIA ENERGY CODE 2013 CFC (BASED ON 2012 IFC) CITY OF PALO ALTO MUNICIPAL CODE ALL APPLICABLE LOCAL, COUNTY, STATE AND FEDERAL CODES, LAWS & REGULATIONS</p> <p>FIRE SPRINKLER: FULLY SPRINKLERED</p>	<p>ARCHITECTURAL A0.1 COVER SHEET AC-1 SITE SURVEY A0.5 SITE PLAN / ROOF PLAN A0.5a NEIGHBOR CONTEXT GB-1 RESIDENTIAL CHECKLIST - GREEN POINT RATED T-1 SPECIAL TREE PROTECTION INSTRUCTION SHEET A2.1 FIRST / SECOND FLOOR PROPOSED PLANS A3.1 PROPOSED ELEVATIONS A3.2 PROPOSED ELEVATIONS A3.3 GARAGE FLOOR PLANS / ELEVATIONS A8.0 SECTIONS A8.1 EXTERIOR DETAILS A8.2 EXTERIOR DETAILS</p> <p>COVER SHEET</p> <p>A0.1</p> <p>PROJECT NUMBER: 1503 608 FULTON STREET</p>



- LEGEND:**
- AC ASPHALT CONCRETE
 - BC BUILDING CORNER
 - BW BACK OF WALK
 - CB CATCH BASIN
 - CMP CORRUGATED METAL PIPE
 - CO CLEAN OUT
 - CRN CROWN
 - DRN DRIVEWAY
 - EC EDGE OF CONCRETE
 - EM ELECTRIC METER
 - EP EDGE OF PAVEMENT
 - FCOR FENCE CORNER
 - FD FOUND
 - FF FINISHED FLOOR
 - FL FLOW LINE
 - FH FIRE HYDRANT
 - FW FRONT OF WALK
 - G GROUND
 - GC GARAGE CORNER
 - GF GARAGE FACE/FRONT
 - GFC GROUND AT FENCE
 - GM GAS METER
 - HCR HANDICAP RAMP
 - INV INVERT
 - IP IRON PIPE
 - JP JOINT POLE
 - LG LIP OF GUTTER
 - O/H OVERHEAD
 - PC PROPERTY CORNER
 - RW RETAINING WALL
 - SL STREET LIGHT
 - SSCO SANITARY SEWER CLEANOUT
 - SSMH SANITARY SEWER MANHOLE
 - SDMH STORM DRAIN MANHOLE
 - TBC TOP BACK ROLLED CURB
 - TC TOP OF CURB
 - TOB TOP OF BANK
 - TP TOE OF BANK
 - TRC TOP OF ROLLED CURB
 - TW TOP OF WALL
 - U/G UNDERGROUND
 - VCP VITRIFIED CLAY PIPE
 - WV WATER VALVE
 - WM WATER METER BOX
 - CTV- CABLE TELEVISION LINE
 - E- ELECTRICAL LINE
 - G- GAS LINE
 - SS- SANITARY SEWER LINE
 - SD- STORM DRAIN LINE
 - T- TELEPHONE LINE
 - W- WATER LINE

BASIS OF BEARINGS:
 THE BEARING, N38°15'00"E, OF THE CENTER LINE OF HAMILTON AVENUE, AS SHOWN ON THAT CERTAIN MAP FILED IN THE OFFICE OF THE RECORDER OF SANTA CLARA COUNTY, STATE OF CALIFORNIA, IN BOOK 399 OF MAPS AT PAGE 39, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

BASIS OF ELEVATION:
 BM 2190, HAMILTON AND MIDDLEFIELD, C/S N.W. COR. N.E. RET., ELEV(NGVD29)=39.92, ELEV(NAVD88)=42.72, NAVD88 USED IN PLAN

UTILITY NOTE:
 UNDERGROUND UTILITIES, SHOWN PER SURFACE EVIDENCE AND RECORDED MAPS, MAY BE DIFFERENT THAN AS SHOWN. BEFORE EXCAVATION, CALL UNDERGROUND SERVICE ALERT (USA) 1-800-642-2444.

FLOOD ZONE INFO:
 AH44 (NAVD88)

NOTE:
 1. MEASUREMENT OF BUILDING LINE IS TO THE FACE OF STUCCO OR SIDING

YOUNG RESIDENCE

608 FULTON STREET
 PALO ALTO, CA
 APN: 003-32-017



2625 MIDDLEFIELD RD #658
 PALO ALTO, CA 94306
 TEL: (650) 823-6466
 FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

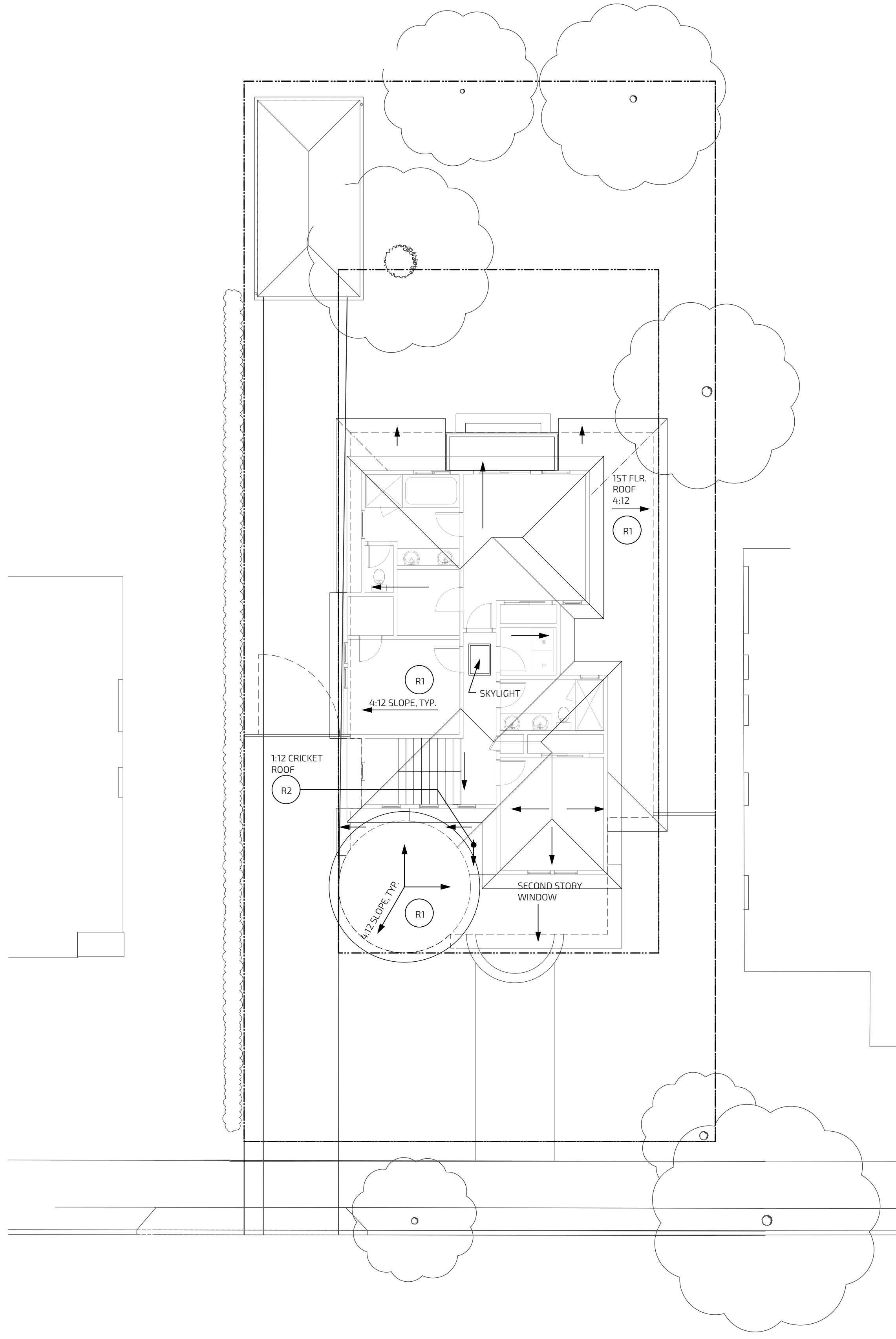
DATE:	MAR 18, 2015
SCALE:	1/8"=1'-0"
DRAWN:	BG
JOB:	10078

SHEET TITLE:

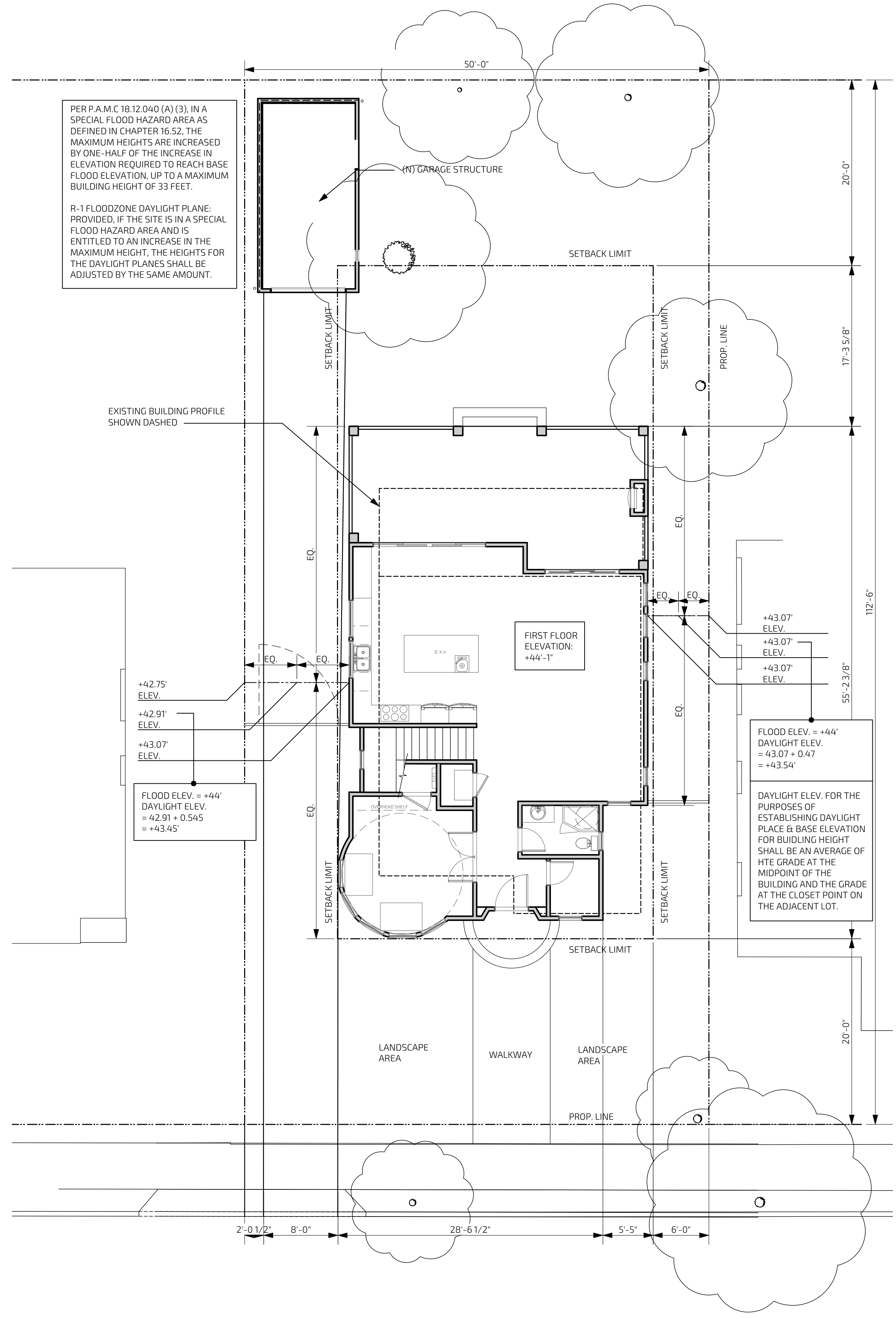
TOPOGRAPHIC SURVEY

SHEET NO.

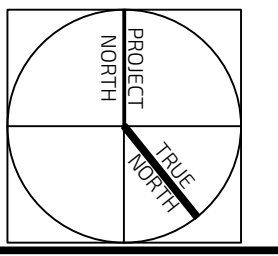
C.0



0' 5' 10' 15' 20'
ROOF PLAN 2
 SCALE 1/8" = 1'-0"

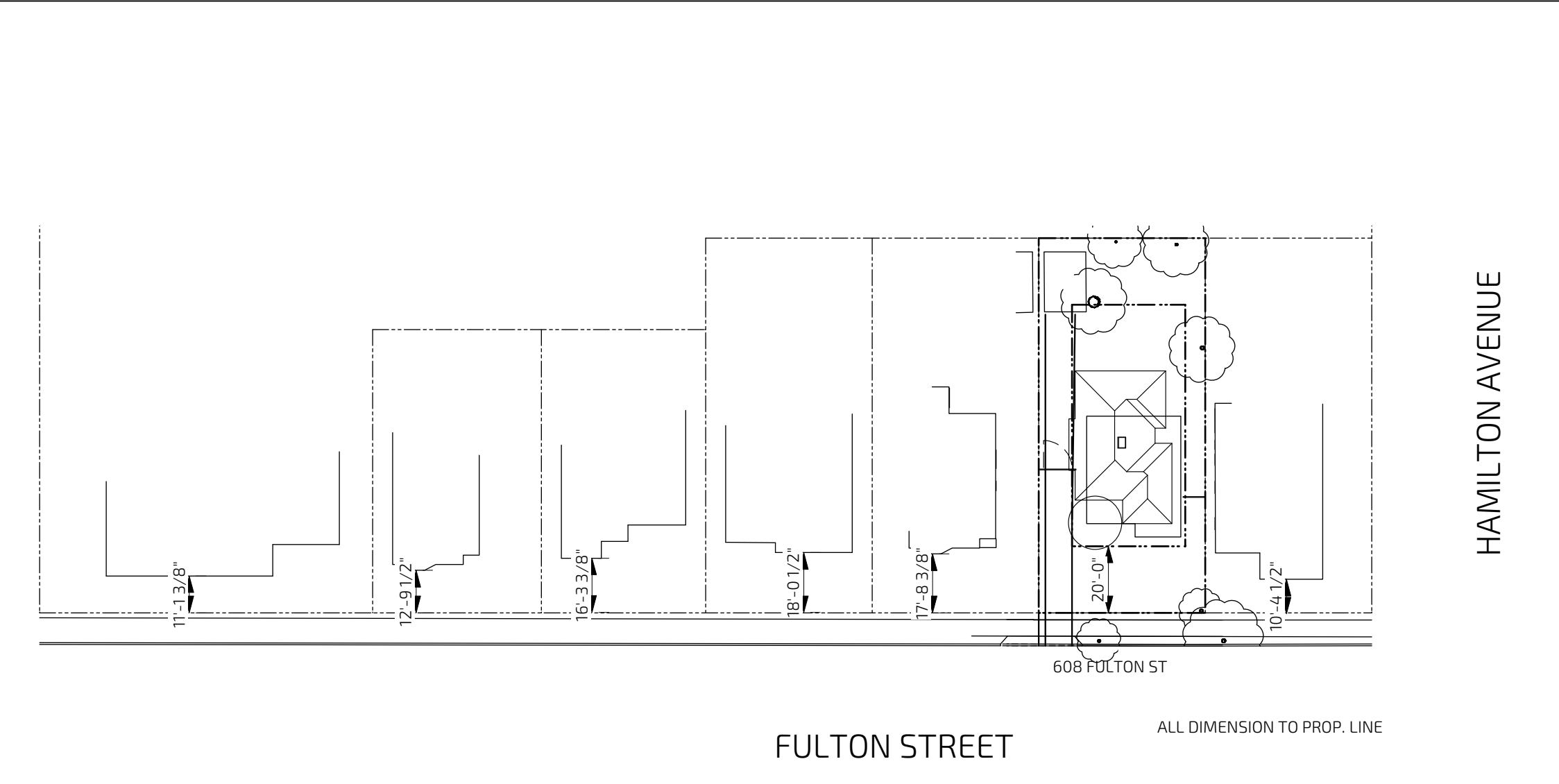


0' 5' 10' 15' 20'
SITE PLAN / ROOF PLAN 1
 SCALE 1/8" = 1'-0"

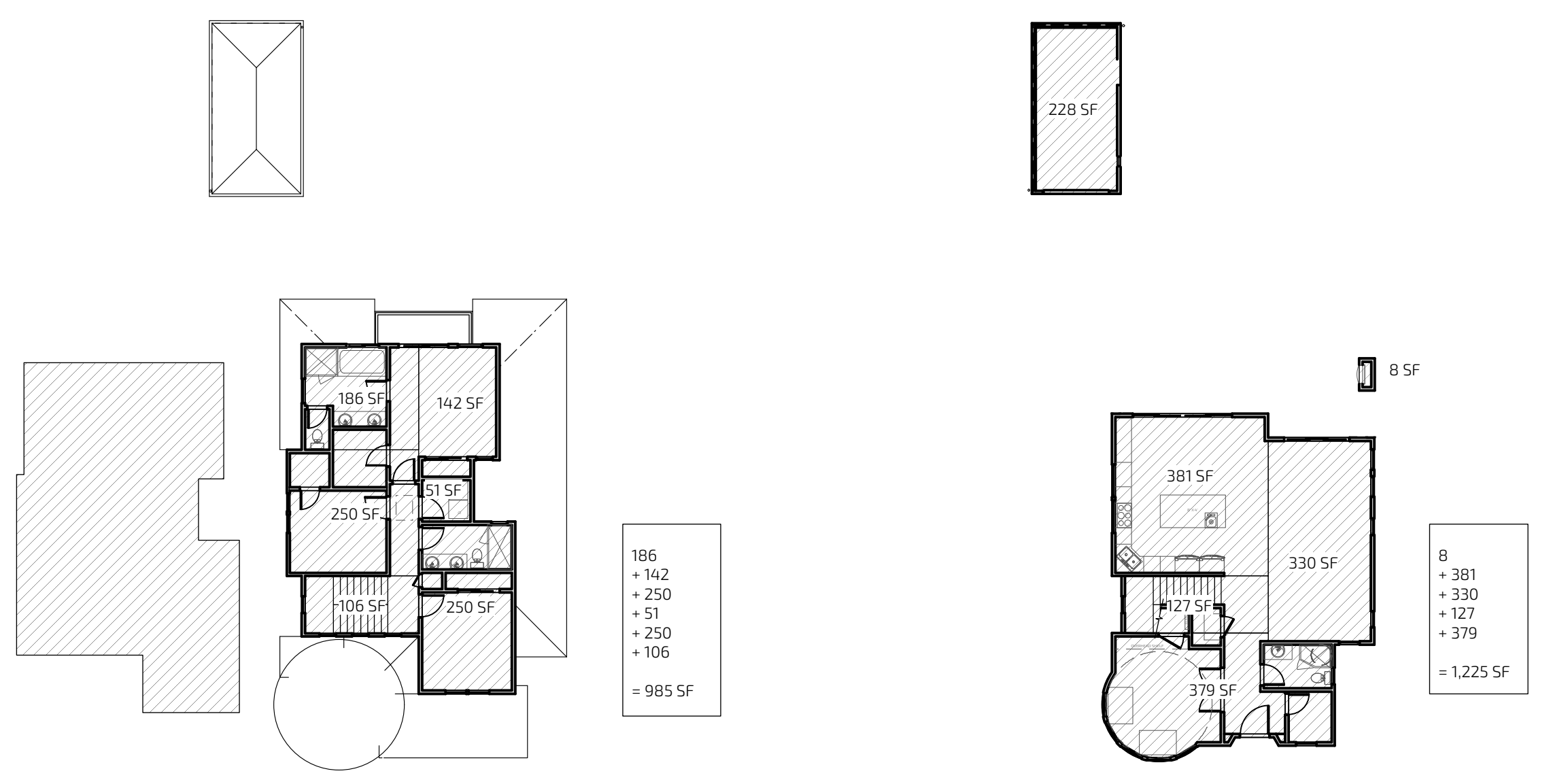




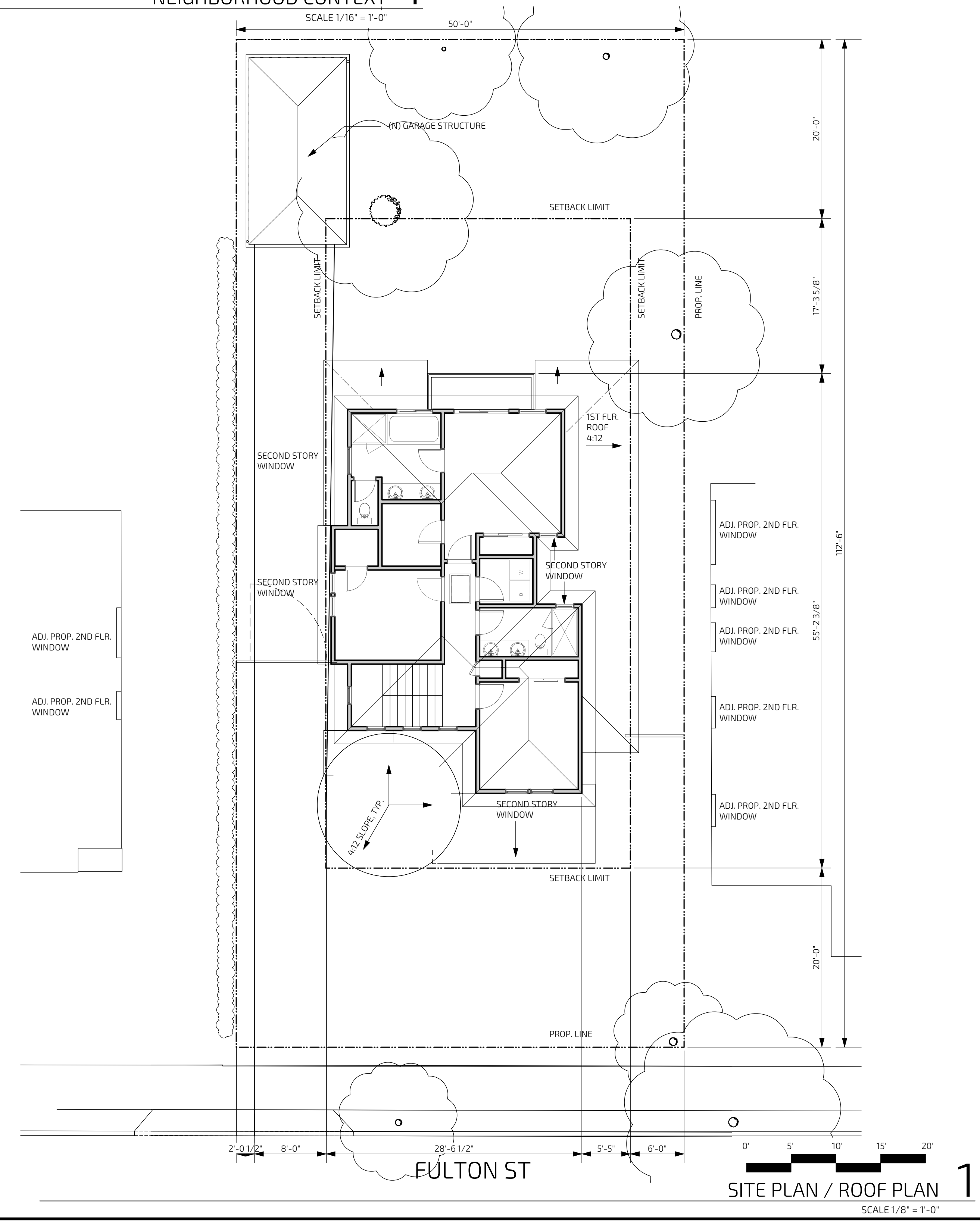
NEIGHBORHOOD CONTEXT **4**



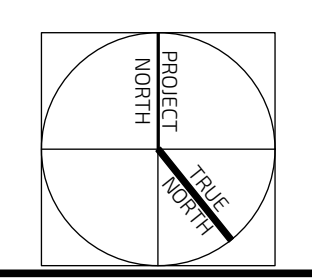
CONTEXTUAL FRONT SETBACK DIAGRAM **3**
 SCALE 1" = 40'-0"



AREA CALCULATION **2**
 SCALE 1/16" = 1'-0"



SITE PLAN / ROOF PLAN **1**
 SCALE 1/8" = 1'-0"



Include GreenPoint Rated Scorecard Here. Use the "Blueprint" option offered by the Rater for space convenience. Use multiple GB-1 sheets for high scoring projects.

TOTAL POINTS NEEDED:
 TOTAL BUILDING AREA = 2430 SF
 EXTRA POINTS NEEDED ABOVE 2500 SF = n/a
 TOTAL POINTS NEEDED = 70

CONTRACTOR NOTE:
 VERIFY ALL GREEN BUILDING SYSTEM AND COORDINATE ALL GREEN POINTS TO BE ACHIEVED WITH PROJECT GREEN POINT RATER BEFORE CONSTRUCTION. CONFIRM ALL POINTS WITH CLIENT, ESPECIALLY ALL THE INTERIOR FINISHES AND APPLIANCE POINTS ACHIEVED.

OWNER Acknowledgement
 This project is required to comply with the State California Green Building Code (T24 Part 11) and the City of Palo Alto's local amendments (PAMC 16.14). I, the **property owner** / legal representative, acknowledge and understand the requirements and penalties for noncompliance (\$50 per ton of waste not diverted from the landfill with a minimum of \$1000, and \$500 a day for noncompliance with the remaining green building measures). I am responsible for all activities performed by design team members, contractors and subcontractors in meeting the requirements.

Signature _____ Date _____
 Print Full Name _____
 Phone or Email _____

RATER Acknowledgement
 The project will be verified by a GREEN POINT RATER

Min. required points, greater of: **#REF!** or **70**

I have reviewed the project plans and specifications, and they are in conformance with the GreenPoint Rated points claimed. I have reviewed and understand the after construction requirements below.

Rater Signature _____ Date _____
 Print Full Name _____ Rater Number _____
 Phone or Email _____

SECTION TO BE COMPLETED AFTER CONSTRUCTION

After construction is complete submit the following at the City Development Center to schedule your final inspection:

- Construction debris receipts from an approved facility using Green Halo.
- If HERS testing was required per the homes energy report, attach the completed forms.
- If there were alterations during construction that impacted the energy report (i.e. R values, U factors, Equipment Types) rerun the report and attach it.

I certify that:

- GreenPoint Rated inspections were performed throughout construction;
- The home has met the minimum required GreenPoint Rated points. Those required for landscaping may be excluded from this confirmation if verified within 6 months of final inspection;
- Through a combination of onsite inspections and confirmation from the Contractor there have been no alterations that impacted the energy report for the home, unless the new report is provided as an attachment.

Signature (GreenPoint Rater) _____
 Print Name _____ Date _____

MEASURES		Points Available	Points Earned	Possible Points	NOTES
A. SITE					
1B0	1B0 CALGreen 1B0 (CALGreen 1B0 PREVIOUS)	1	1	1	
B. FOUNDATION					
1B0	1B0 1B1 Foundation Footings	1	1	1	
C. LANDSCAPE					
1B0	1B0 1B1 Planting Material	1	1	1	
D. FINISHES					
1B0	1B0 1B1 Interior Finishes	1	1	1	
E. MECHANICAL/ELECTRICAL/HVAC					
1B0	1B0 1B1 Mechanical/Electrical/HVAC	1	1	1	

MEASURES		Points Available	Points Earned	Possible Points	NOTES
A. SITE					
1B0	1B0 1B1 Foundation Footings	1	1	1	
B. FOUNDATION					
1B0	1B0 1B1 Planting Material	1	1	1	
C. LANDSCAPE					
1B0	1B0 1B1 Mechanical/Electrical/HVAC	1	1	1	
D. FINISHES					
1B0	1B0 1B1 Interior Finishes	1	1	1	

MEASURES		Points Available	Points Earned	Possible Points	NOTES
A. SITE					
1B0	1B0 1B1 Foundation Footings	1	1	1	
B. FOUNDATION					
1B0	1B0 1B1 Planting Material	1	1	1	
C. LANDSCAPE					
1B0	1B0 1B1 Mechanical/Electrical/HVAC	1	1	1	
D. FINISHES					
1B0	1B0 1B1 Interior Finishes	1	1	1	

© Build It Green GreenPoint Rated New Home Single Family Checklist Version 6.0

© Build It Green GreenPoint Rated New Home Single Family Checklist Version 6.0

© Build It Green GreenPoint Rated New Home Single Family Checklist Version 6.0

Project: 608 FULTON STREET
 PALO ALTO, CA 94301
RESIDENTIAL CHECKLIST - GREEN POINT RATED



Title 24, Part 11, California Green Building Code (CALGreen)
 City of Palo Alto Green Building Ordinance 5220 (PAMC 16.14)
 City of Palo Alto Green Building Program and Resources
 Build It Green, GreenPoint Rated Guidelines and Checklists

RESIDENTIAL GREEN BUILDING APPLICATION GREEN POINT RATED

http://www.documents.dgs.ca.gov/bse/CALGreen/2010_CA_Green_Bldg.pdf
<http://www.cityofpaloalto.org/civica/filebank/blobload.asp?BlobID=25863>
<http://www.cityofpaloalto.org/greenbuilding>
<http://www.buildgreen.org/guidelines-checklists/>

Application: This plan sheet is for use by residential new construction, additions and rebuilds over 1,250sf.

GB-1

City of Palo Alto Tree Protection - It's Part of the Plan!

Make sure your crews and subs do the job right!

Fenced enclosures around trees are essential to protect them by keeping the foliage canopy and branching structure clear from contact by equipment, materials and activities, preserving roots and soil conditions in an intact and non-compacted state, and identifying the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved. **An approved tree protection report must be added to this sheet when project activity occurs within the TPZ of a regulated tree.** For detailed information on Palo Alto's regulated trees and protection during development, review the **City Tree Technical Manual (TTM)** found at www.cityofpaloalto.org/trees/.

TREE DISCLOSURE STATEMENT
CITY OF PALO ALTO
Planning Division, 250 Hamilton Avenue
Palo Alto, CA 94301
(650) 329-2441
<http://www.cityofpaloalto.org>

Palo Alto Municipal Code, Chapter 8.10.040, requires disclosure and protection of certain trees located on private and public property, and that they be shown on submitted and approved site plans. A completed tree disclosure statement must accompany all permit applications that include exterior work, all demolition or grading permit applications, or other development activity.

PROPERTY ADDRESS: 608 FULTON STREET

Are there Regulated trees on or adjacent to the property? YES NO If no, proceed to Section 4

[Sections 1-4 MUST be completed by the applicant. Please circle and/or check where applicable.]

1. Where are the trees? Check those that apply. (Plans must be submitted showing all trees over 4" diameter)
 On the property
 On adjacent property overhanging the project site
 In the City planter strip or right-of-way easement within 30' of property line (Street Trees)*

*Street trees require special protection by a fenced enclosure, per the attached instructions. Prior to receiving any permit, you must provide an authorized Street Tree Protection Verification Form. Contact Public Works Operations at (650) 496-5953 for inspection of type I, II or III fencing (see attached Detail #605) required for all street trees.

2. Are there any Protected or Designated Trees? YES (Check where applicable) NO
 Protected Tree (s)
 Designated Tree (s)
 On or overhanging the property

3. Is there activity or grading within the drip-line? (radius 10 times the trunk diameter) of these trees? YES NO
If Yes, a Tree Preservation Report must be prepared by an ISA certified arborist and submitted for staff review (see TTM - Section 6.25). Attach this report to Sheets T-1, Tree Protection, its Part of the Plan, per Site Plan Requirements.

4. Are the Site Plan Requirements** completed? YES NO

**Plans. Protection of Regulated trees during development require the following: (1) Plans must show the measured trunk diameter and canopy drip-line; (2) Plans must show, as a bold dashed line, a fenced enclosure area out to the drip-line, per Sheet T-1 and Detail #605 - <http://www.cityofpaloalto.org/trees/forms.html>. (See also TTM, Section 2.15 for area to be fenced)

I, the undersigned, agree to the conditions of this disclosure. I understand that knowingly or negligently providing false or misleading information in response to this disclosure requirement constitutes a violation of the Palo Alto Municipal Code Section 8.10.040, which can lead to criminal and/or civil legal action.

Signature: GLORIA YOUNG Print: GLORIA YOUNG Date: 6/9/2015
(Prop. Owner or Agent)

FOR STAFF USE:

Protected Trees - The specified tree fencing is in place. A written statement is attached verifying that protective fencing is correctly in place around protected and/or designated trees. YES NO
(N/A if there are no protected trees, check here)

Street Trees - A signed Public Works Street Tree Protection Verification form is attached. YES NO
(N/A if there are no street trees, check here)

Regulated Trees - a) Street trees - trees on public property; b) Protected trees - Coast Live Oaks or Valley Oaks which are 11.25" in diameter or larger; Coast Redwoods which are 18" in diameter or larger, when measured 54" above natural grade; and Heritage trees are trees designated by City Council; and c) Designated Trees - commercial or non-residential property trees, which are part of an approved landscape plan.

Palo Alto Tree Technical Manual (TTM) contains instructions for all requirements on this form, available at www.cityofpaloalto.org/trees/technical-manual.html

City of Palo Alto
250 Hamilton Avenue, Palo Alto, CA 94301

Search: Advanced Browse By Topic

Home > Planning & Community Environment

Tree Technical Manual

To purchase the Tree Technical Manual

June, 2001 First Edition

View by section:

- Table of Contents (PDF, 67KB)
- Intent and Purpose (PDF, 1.05MB)
- Introduction - Use of Manual (PDF, 1.05MB)
- Section 1.0 - Definitions (PDF, 96KB)
- Section 2.0 - Protection of Trees During Construction (PDF, 259KB)
- Section 3.0 - Removal, Replacement & Planting of Trees (PDF, 117KB)
- Section 4.0 - Hazardous Trees (PDF, 165KB)
- Section 5.0 - Tree Maintenance Guidelines (PDF, 110KB)
- Section 6.0 - Tree Reports (PDF, 84KB)

View ALL sections:

- Tree Technical Manual - Full (PDF, 1.84MB)

APPENDICES

- A: Palo Alto Municipal Code Chapter 8.10, Tree Preservation & Management Regulations
- B: Tree City - USA
- C: ISA Hazard Evaluation Form
- D: List of Inherent Failure Patterns for Selected Species (Reference source)
- E: ISA Tree Pruning Guidelines (PDF, 1.85MB)
- F: Tree Care Safety Standards, ANSI Z133.1-1994 (Reference source)
- G: Pruning Performance Standards, ANSI A300-1995 (Reference source)
- H: Tree Planting Details, Diagram 504 & 505
- I: Tree Disclosure Statement
- J: Palo Alto Standard Tree Protection Instructions

For written specifications associated with illustrations below, see Public Works Specifications Section 31. Detailed specifications are found in the Palo Alto Tree Technical Manual (TTM) (www.cityofpaloalto.org/trees/)

Tree Protection Zone (TPZ) shown in gray (radius of TPZ equals 10-times the diameter of the tree or 10-feet, whichever is greater).

- Restricted activity area - see Tree Technical Manual Sec 2.15(I).
- Restricted trenching area - see Tree Technical Manual Sec 2.20(C-D), any proposed trench or form work within TPZ of a protected tree requires approval from Public Works Operations. Call 650-496-5953.

Type I Tree Protection: For all Ordinance Protected and Designated trees, as detailed in the city-specific tree preservation report (TPR) prepared by the applicant's project arborist as diagrammed on the plans.

Note: Ordinance Protected & Designated Trees. Issuance of a permit requires applicant's project arborist written verification Type I is installed correctly according to the plans and Tree Preservation Report.

Type II Tree Protection: Any inoperative sidewalk or curb replacement or trenching requires approval.

Note: Street Trees. Issuance of a permit requires Public Works Operations inspection and signed approval on the Street Tree Verification (STV) form provided.

Type III Tree Protection: To be used only with approval of Public Works Operations.

Note: Street Trees. Issuance of a permit requires Public Works Operations inspection and signed approval on the Street Tree Verification (STV) form provided.

Tree fencing is required and shall be erected before demolition, grading or construction begins.

Rev	By	Date
0	DWH	12/14/92
01	D.D.	08/04/04
02	D.D.	08/10/06

Tree Protection During Construction
City of Palo Alto Standard

Approved by: Dave Dockter
PE No. _____
Date: 2006
Dwg No. 605

**APPENDIX J
PALO ALTO
STREET TREE PROTECTION INSTRUCTIONS
-SECTION 31-**

31-1 General

- Tree protection has three primary functions. 1) to keep the foliage canopy and branching structure clear from contact by equipment, materials and activities; 2) to preserve trunk and soil conditions in an intact and non-compacted state and 3) to identify the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved.
- The Tree Protection Zone (TPZ) is a restricted area around the base of the tree with a radius of ten-times the diameter of the tree's trunk or ten feet; whichever is greater, enclosed by fencing.

31-2 Reference Documents

- Detail #605 - Illustration of situations described below.
- Tree Technical Manual (TTM) Forms (<http://www.cityofpaloalto.org/trees/>)
 - Trenching Restriction Zones (TTM, Section 2.20(C))
 - Arborist Reporting Protocol (TTM, Section 6.25)
 - Site Plan Requirements (TTM, Section 6.2)
 - Tree Disclosure Statement (TTM, Appendix J)
- Street Tree Verification (STV) Form (<http://www.cityofpaloalto.org/trees/forms>)

31-3 Execution

- Type I Tree Protection:** The fence shall enclose the entire TPZ of the tree(s) to be protected throughout the life of the construction project. In some parking areas, if fencing is located on paving or concrete that will not be demolished, then the posts may be supported by an appropriate grade level concrete base, if approved by Public Works Operations.
- Type II Tree Protection:** For trees situated within a planting strip, only the planting strip and yard side of the TPZ shall be enclosed with the required chain link protective fencing in order to keep the sidewalk and street open for public use.
- Type III Tree Protection:** To be used only with approval of Public Works Operations. Trees situated in a tree well or sidewalk planter pit, shall be wrapped with 2-inches of orange plastic fencing from the ground to the first branch and overlaid with 2-inch thick wooden slats bound securely (slats shall not be allowed to dig into the bark). During installation of the plastic fencing, caution shall be used to avoid damaging any branches. Major limbs may also require plastic fencing as directed by the City Arborist.
- Site, type and area to be fenced.** All trees to be preserved shall be protected with six (6) foot high chain link fences. Fences are to be mounted on two-inch diameter galvanized iron posts, driven into the ground to a depth of at least 2-feet at no more than 10-foot spacing. Fencing shall extend to the outer branching, unless specifically approved on the STV Form.
- Warning signs.** A warning sign shall be weather proof and prominently displayed on each fence at 20-foot intervals. The sign shall be minimum 8.5-inches x 11-inches and clearly state in half inch tall letters: "WARNING - Tree Protection Zone - This fence shall not be removed and is subject to a fine according to PAMC Section 8.10.110."
- Duration.** Tree fencing shall be erected before demolition, grading or construction begins and remain in place until final inspection of the project, except for work specifically allowed in the TPZ. Work or soil disturbance in the TPZ requires approval by the project arborist or City Arborist (in the case of work around Street Trees). Excavations within the public right of way require a Street Work Permit from Public Works.

31-4 During construction

- All neighbors' trees that overhang the project site shall be protected from impact of any kind.
- The applicant shall be responsible for the repair or replacement plus penalty of any publicly owned trees that are damaged during the course of construction, pursuant to Section 8.04.070 of the Palo Alto Municipal Code.
- The following tree preservation measures apply to all trees to be retained:
 - No storage of material, topsoil, vehicles or equipment shall be permitted within the TPZ.
 - The ground under and around the tree canopy area shall not be altered.
 - Trees to be retained shall be irrigated, aerated and maintained as necessary to ensure survival.

END OF SECTION
City of Palo Alto 2004 Standard Drawings and Specifications
Street Tree Verification of Protection, PWE, Section 31
Revised 08/06

**Table 2-1 Palo Alto Tree Technical Manual
CONTRACTOR & ARBORIST INSPECTION SCHEDULE**

Reference: the Palo Alto Tree Technical Manual is available at www.cityofpaloalto.org/environment/

ALL CHECKED ITEMS APPLY TO THIS PROJECT:

- Inspection of Protective Tree Fencing For Public Trees, the Street Tree Verification Form shall be signed by the City Arborist. For Protected Trees, the project site arborist shall provide an initial Monthly Tree Activity Report form with a photograph verifying that he has conducted a field inspection of the trees and that the correct type of protective fencing is in place around the designated tree protection zone (TPZ) prior to issuance of a demolition, grading, or building permit. (See TTM, Verification of Tree Protection, Section 1.39)
- Pre-Construction Meeting Prior to commencement of construction, the applicant or contractor shall conduct a pre-construction meeting to discuss tree protection with the job site superintendent, grading operators, project site arborist, City Arborist, and, if a city maintained irrigation system is involved, the Parks Manager. (Contact 650-496-6962).
- Inspection of Rough Grading or Trenching Contractor shall ensure the project site arborist performs an inspection during the course of rough grading or trenching adjacent to or within the TPZ to ensure trees will not be injured by compaction, cut or fill, drainage and wetland, and if required, inspect retention systems, tree wells, drains and special paving. The contractor shall provide the project arborist at least 24 hours advance notice of such activity.
- Monthly Tree Activity Report Inspections. The project site arborist shall perform a minimum monthly activity inspection to monitor and advise on conditions, tree health and retention or, immediately if there are any revisions to the approved plans or protection measures. The Tree Technical Manual Monthly Tree Activity Report form shall be used and sent to the Planning Dept. landscape review staff no later than 14 days after issuance of building permit date. Fax to (650) 329-2154. (See TTM, Monthly Tree Activity Inspection Report, Addendum 11 & section 1.17).
- Special activity within the Tree Protection Zone. Work in the TPZ area (see also #7 below) requires the direct on-site supervision of the project arborist (see TTM, Trenching, Excavation & Equipment, Section 2.20 C).
- Landscape Architect Inspection. For discretionary development projects, prior to temporary or final occupancy the applicant or contractor shall arrange for the Landscape Architect to perform an on site inspection of all plant stock, quality of the materials and planting (see TTM, Planting Quality, Section 5.20.1 A) and that the irrigation is functioning consistent with the approved construction plans. The Planning Dept. landscape review staff shall be in receipt of written verification of Landscape Architect approval prior to scheduling the final inspection, unless otherwise approved.
- List Other (please describe as called out in the site Tree Preservation Report, Sheet T-1, T-2, etc.)

**City of Palo Alto
Tree Department
Public Works Operations
PO Box 10250 Palo Alto, CA 94303
650-496-5953 FAX: 650-852-9289
Inspection@CityofPaloAlto.org**

Verification of Street Tree Protection

Applicant Instructions: Complete upper portion of this form. Mail or FAX this form along with signed Tree Disclosure Statement to Public Works Dept. Public Works Tree Staff will inspect and notify applicant.

APPLICATION DATE: 6/10/2015

ADDRESS/LOCATION OF STREET TREES TO BE PROTECTED: 608 FULTON STREET

APPLICANT'S NAME: ALI'S CONSTRUCTION

APPLICANT'S ADDRESS: 1011 SOUTH DE ANZA BLVD, SAN JOSE

APPLICANT'S TELEPHONE & FAX NUMBERS: CA 95129, 408-441-0967

This section to be filled out by City Tree Staff

1. The Street Trees at the above address(es) are adequately protected. The type of protection used is: YES NO
* If NO, go to #2 below

Inspected by: _____
Date of inspection: _____

2. The Street Trees at the above address are NOT adequately protected. The following modifications are required: _____

Indicate how the required modifications were communicated to the applicant: _____

Subsequent Inspection

Street trees at above address were found to be adequately protected: YES NO
* If NO, indicate in "Notes" below the disposition of case.

Inspected by: _____
Date of inspection: _____

Notes: List City street trees by species, site, condition and type of tree protection installed. Also note if pictures were taken. Use back of sheet if necessary.

Return approved sheet to Applicant for demolition or building permit issuance.

S:\PWO\Ops\Tree\DS\TreeProt.doc 5/17/06

City of Palo Alto Tree Technical Manual ADDENDUM 11

Arborist Firm Data Here

Monthly Tree Activity Report- Construction Site

Inspection Date:	Site address:	Contractor- Main Site Contact Information	#1: Job site superintendent
	<u>Palo Alto, CA</u>		Company: _____ Email: _____ Job site Office: _____ Cell: _____ Mail: _____
		Also present:	• _____ • _____
Distribution:	1. City of Palo Alto 2. Others _____	Attn: <u>Dave Dockter</u>	<u>Dave.dockter@cityofpaloalto.org</u> 650-329-2440

Provide the requested minimum information with each report, customize as necessary. To be completed by project site arborist. Send monthly to city arborist at above address until project completion. Use additional sheets as needed.

- Assignment Activity (Demolition/grading/sewer/trenching/foundation list relevant visits)
 - Pre-construction meeting requirement with sub-contractors
 - Inspect to verify that tree protection measures are in place
 - Determine if field adjustments, watering or plan revisions may be needed
- Field Observations (general site-wide and list by individual tree number)
 - Tree Protection Fences (TPF) are ...
 - Trenching has/will occur ...
- Action Items (list site-wide, by tree number and date to be satisfied) and Date Due
 - Tree Protection Fence (TPF) needs adjusting (tree # x, x, x)
 - Root zone buffer material (wood chips) can be installed next
 - Schedule sewer trench, foundation dig with ...
- Photographs (use often)
- Tree Location Map (mandatory 8.5 x 11 sheet)
- Recommendations, notes or monitor items for project/staff/schedule
- Past visits (list carry-over items satisfied/still outstanding)

Respectfully submitted,

Project site arborist
Consultant contact information (Include email, cell#, and mailing)
C: _____
Enter Date CPA Monthly Tree Activity Report: Type site address here Page #1 of 1

---WARNING---
Tree Protection Zone

This fencing shall not be removed without City Arborist approval (650-496-5953)

Removal without permission is subject to a \$500 fine per day*

*Palo Alto Municipal Code Section 8.10.110

City of Palo Alto Tree Protection Instructions are located at <http://www.city.palo-alto.ca.us/trees/technical-manual.html>

SPECIAL INSPECTIONS

PLANNING DEPARTMENT
TREE PROTECTION INSPECTIONS MANDATORY

PAMC 8.10 PROTECTED TREES: CONTRACTOR SHALL ENSURE PROJECT SITE ARBORIST IS PERFORMING REQUIRED TREE INSPECTION AND SITE MONITORING. PROVIDE WRITTEN MONTHLY TREE ACTIVITY REPORTS TO THE PLANNING DEPARTMENT LANDSCAPE REVIEW STAFF BEGINNING 14 DAYS AFTER BUILDING PERMIT ISSUANCE.

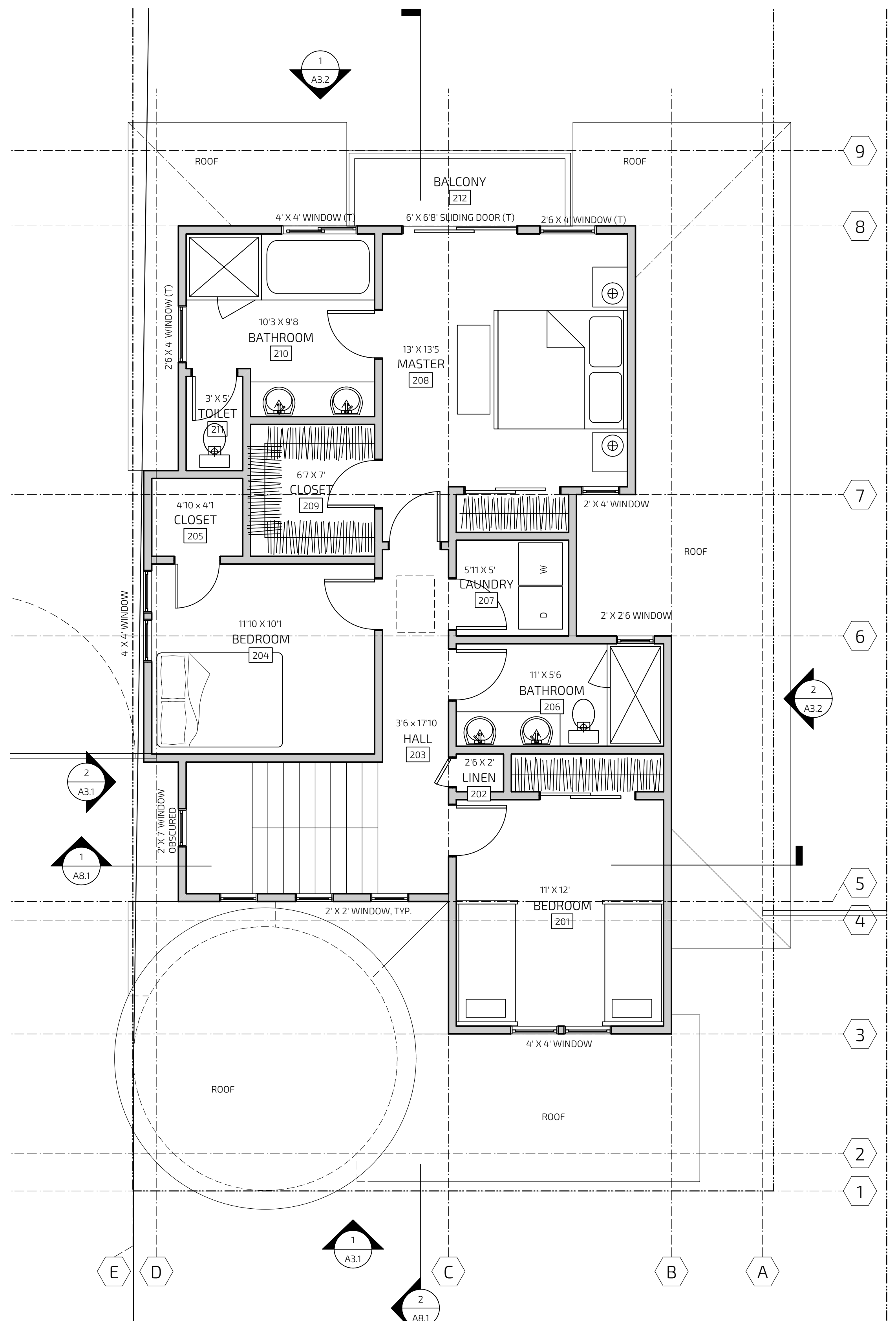
BUILDING PERMIT DATE: _____
DATE OF #1 TREE ACTIVITY REPORT: _____
CITY STAFF: _____

REPORTING DETAILS OF THE MONTHLY TREE ACTIVITY REPORT SHALL CONFORM TO SHEET T-1 FORMAT. VERIFY THAT ALL TREE PROTECTION MEASURES ARE IMPLEMENTED AND WILL INCLUDE ALL CONTRACTOR ACTIVITY, SCHEDULED OR UNSCHEDULED, WITHIN A TREE PROTECTION ROOT ZONE. NON-COMPLIANCE IS SUBJECT TO VIOLATION OF PAMC 8.10.080. REFERENCE: PALO ALTO TREE TECHNICAL MANUAL SECTION 2.00 AND ADDENDUM 11.

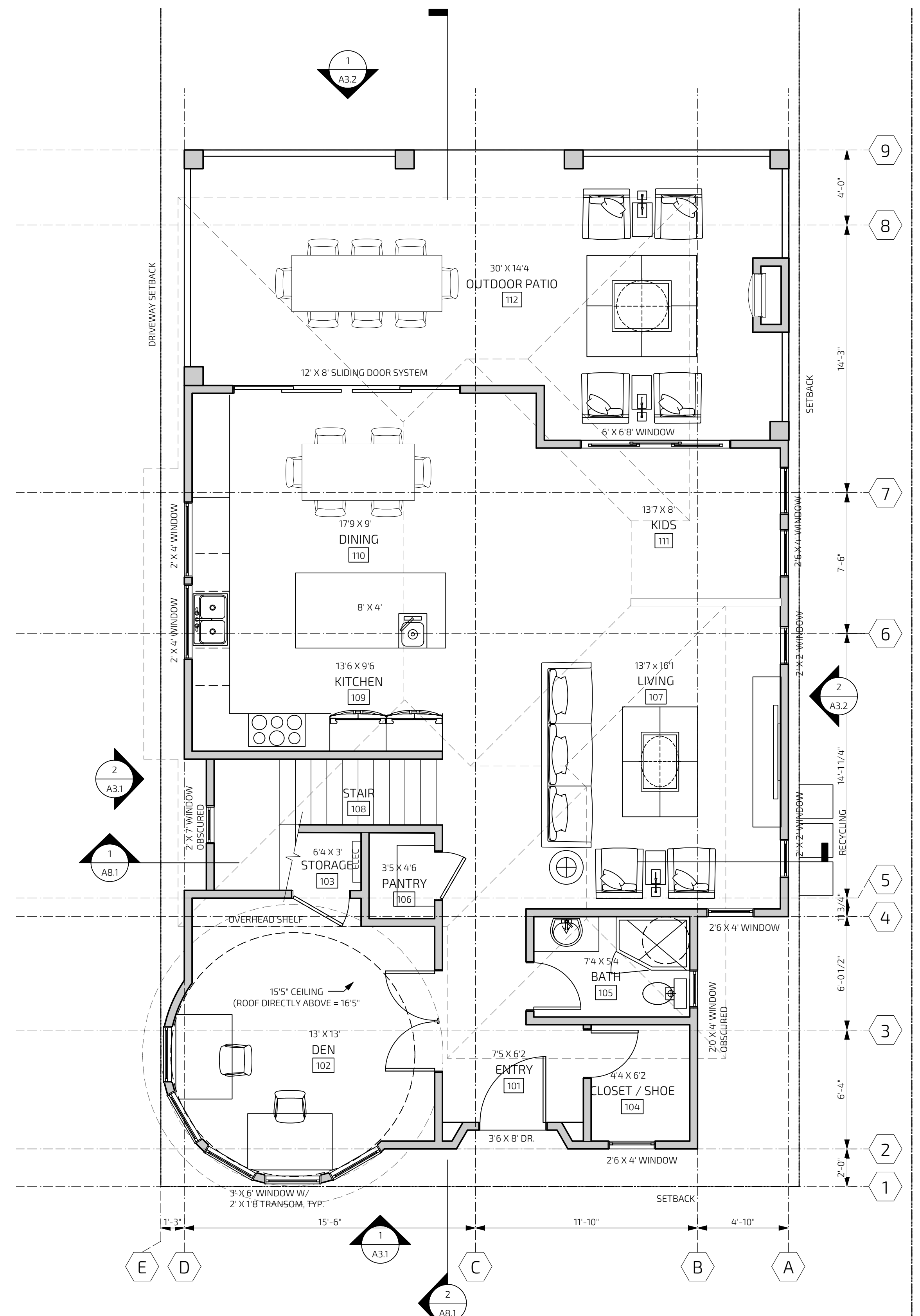
Apply Tree Protection Report on sheet(s) T-2

Use additional "T" sheets as needed

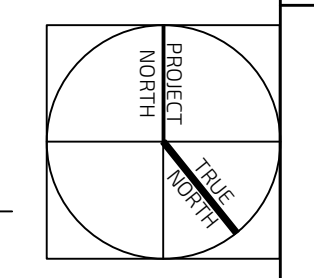
Project
Data



SECOND FLOOR PROPOSED PLAN 2
SCALE 1/4" = 1'-0"



FIRST FLOOR PROPOSED PLAN 1
SCALE 1/4" = 1'-0"



IR SUBMITTAL
6.10.2015

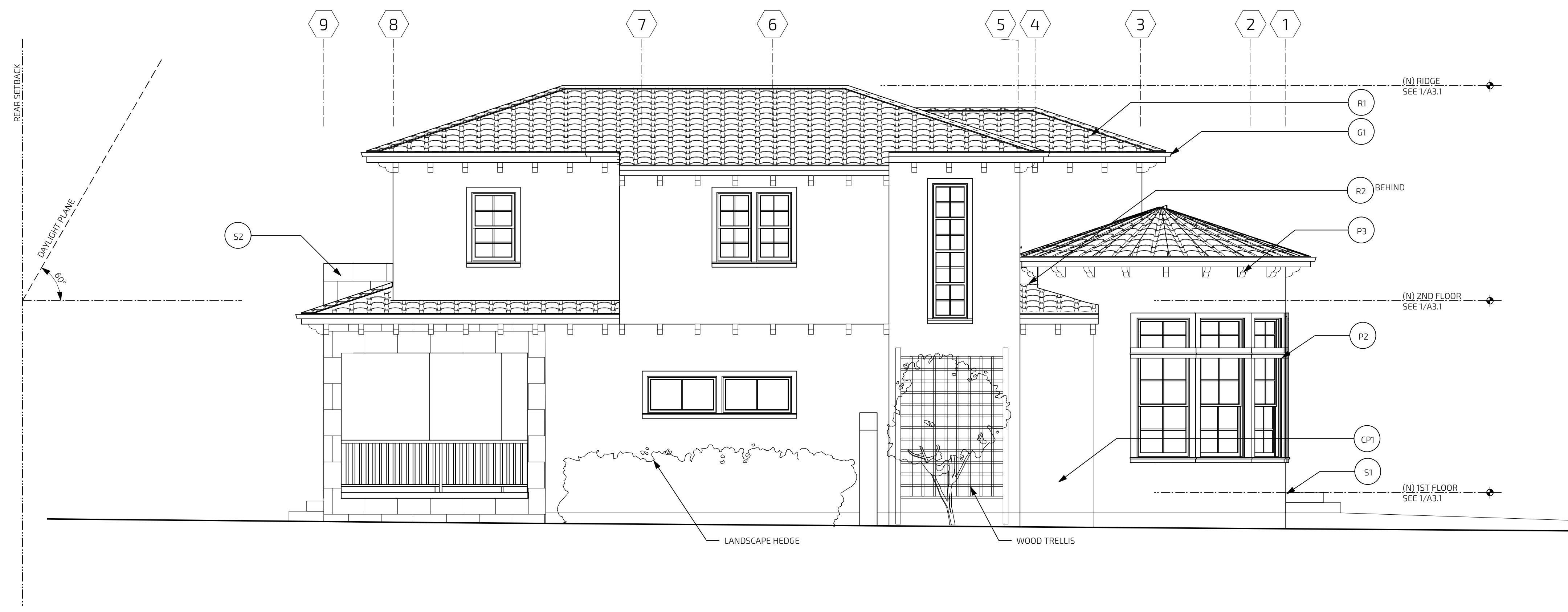
Sheet Revisions:

YOUNG RESIDENCE
 NEW TWO-STORY RESIDENCE
 608 FULTON STREET
 PALO ALTO, CA 94301

PROPOSED ELEVATIONS

A3.1

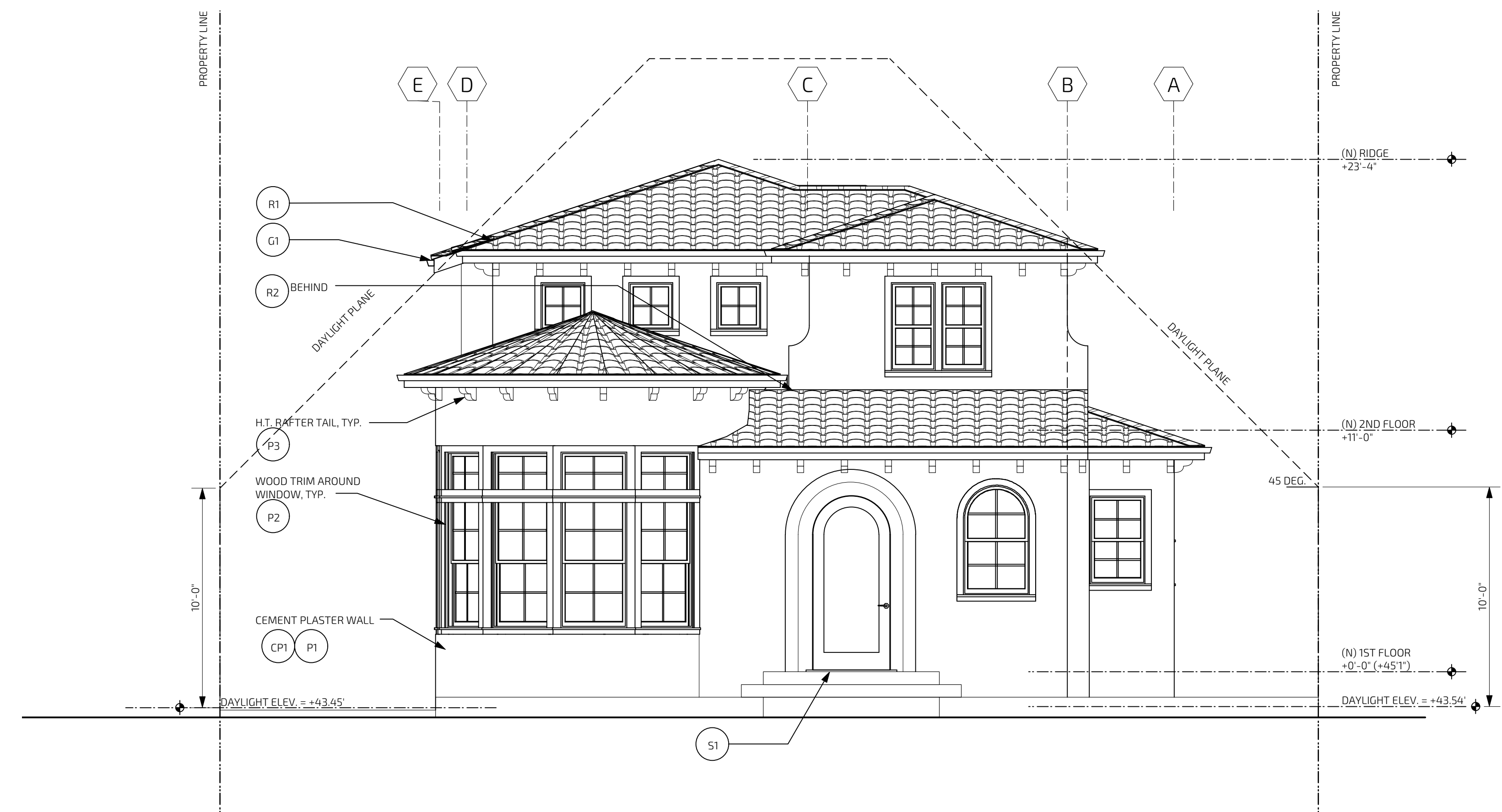
PROJECT NUMBER: 1503
608 FULTON STREET



PROPOSED EAST ELEVATION **2**
 SCALE 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE				
SYMBOL	MATERIAL	MFR./DEALER	MODEL #/ DESCRIPTION/ LOCATION	COLOR
S1	STONE OVERLAY / OR STAMP CONCRETE	U-SAVE ROCKERY OR SIM.	(N) CONC. LANDING W/ FLAG STONE OVERLAY; PENNSYLVANIA LILAC PATIO BY U-SAVE ROCKERY OR SIM. www.usaverockerysj.com	-
S2	CLAD STONE VENEER PANEL	DALTILE OR SIM.	TRAVERTINE STONE TILE BY DALTILE DURANGO OR SIM.	-
R1	LIGHT WEIGHT TILE ROOF	-	NEW TILE ROOF BY EAGLE OR SIM. ROOF TO BE CLASS 'A'	TAN
R2	ROLL ROOFING OR BUILT-UP ROOF	-	CRICKET ROOFING PER CBC 8905.5 & 905.9. ROOF TO BE CLASS 'B' OR BETTER.	LIGHT GRAY
G1	GUTTER	-	ALUM. OR GSM -PAINTED	D. BROWN
CP1	CEMENT PLASTER	-	ACRYLIC SMOOTH PLASTER FINISH	P1
P1	EXTERIOR PAINT	-	KELLY MOORE	BEIGE
P2	TRIM PAINT	-	KELLY MOORE	WHITE
P3	TRIM PAINT	-	KELLY MOORE	D. BROWN

- PAINT ALL EXTERIOR WINDOW TRIM, SILLS, NON-VINYL SASH, MUTTINS, DECK RAILINGS, DECK FASCIA, BEAMS AND TRELLISES, RAFTER TAILS AND EAVE SHEATHING BOARDS. PROTECT ANY AND ALL VINES / PLANTINGS FROM DAMAGE.
- CONTRACTOR TO CONFIRM ALL FINISH WITH OWNER BEFORE ORDERING.
- PROVIDE COEFFICIENT OF FRICTION OF 0.6 OR HIGHER FOR ALL FLOOR TILE & EXTERIOR FLAG STONE SURFACE.



PROPOSED NORTH (FRONT) ELEVATION **1**
 SCALE 1/4" = 1'-0"

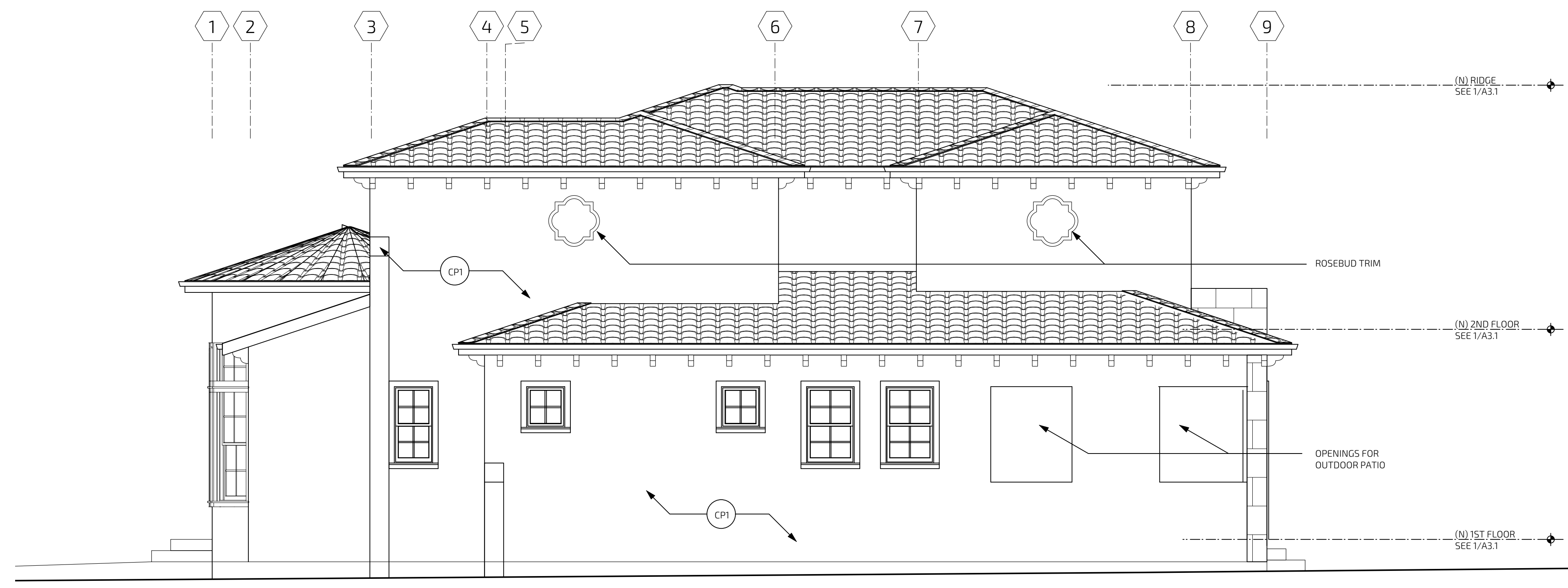
Sheet Revisions:

△	
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YOUNG RESIDENCE
 NEW TWO-STORY RESIDENCE
 608 FULTON STREET
 PALO ALTO, CA 94301

PROPOSED ELEVATIONS

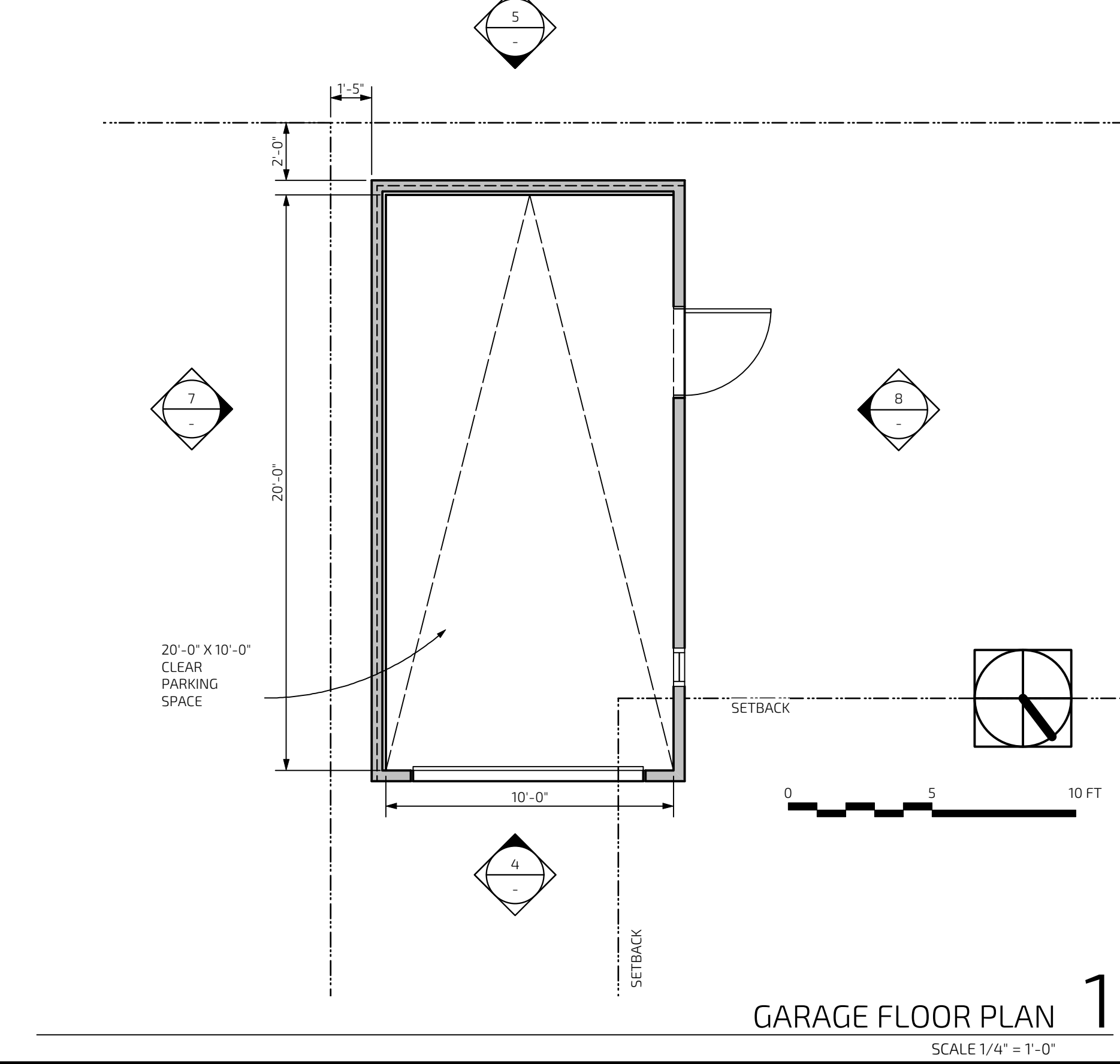
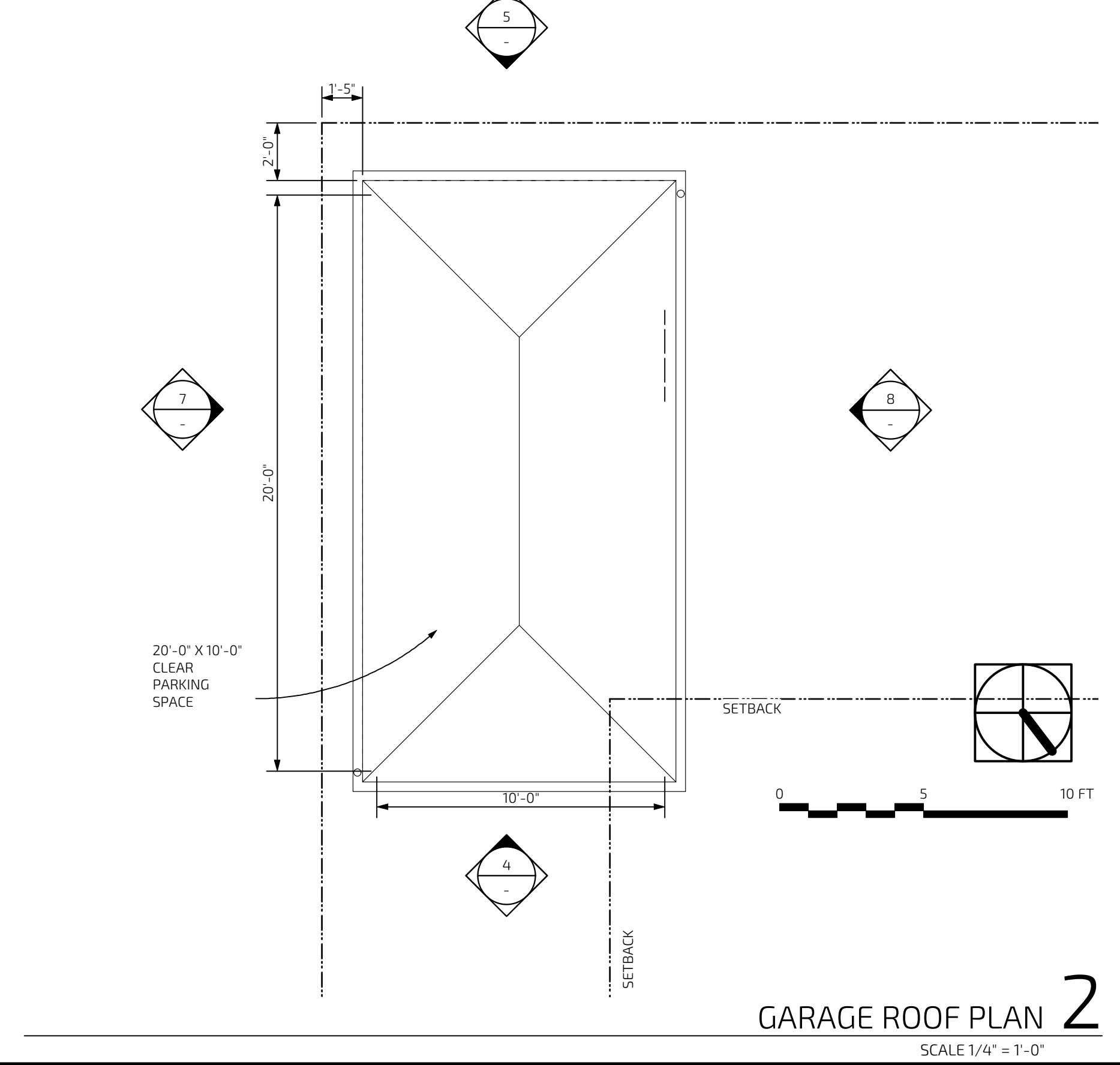
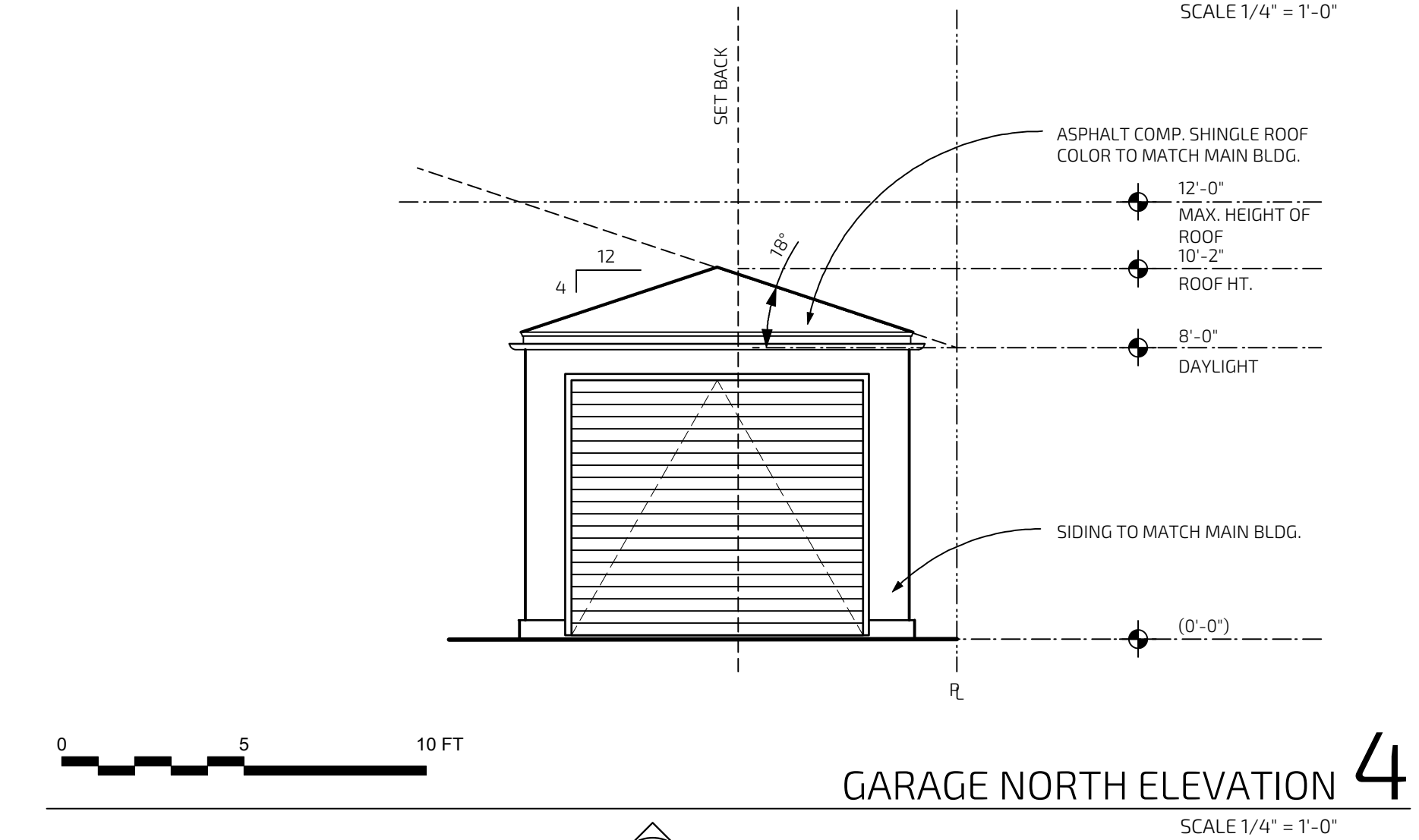
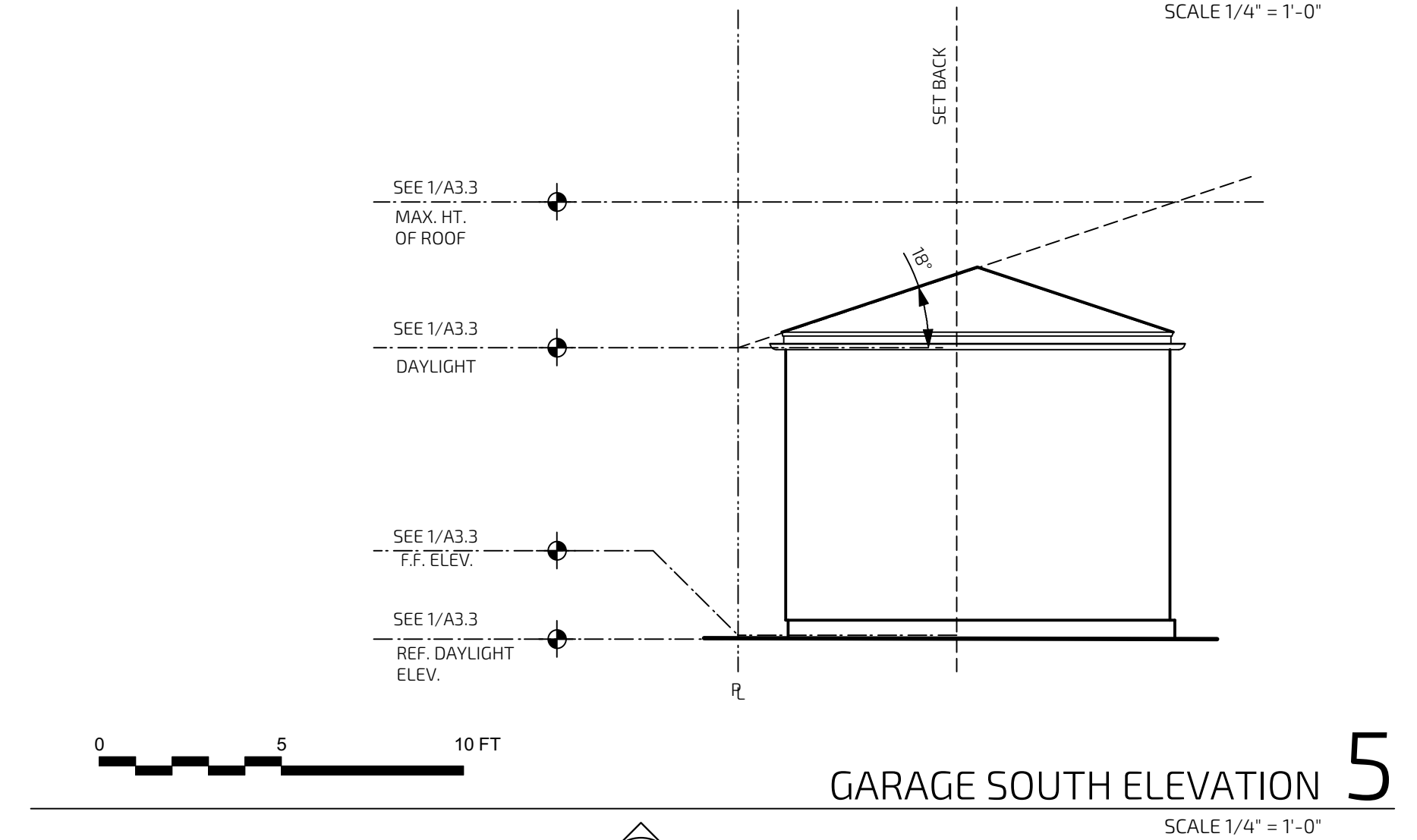
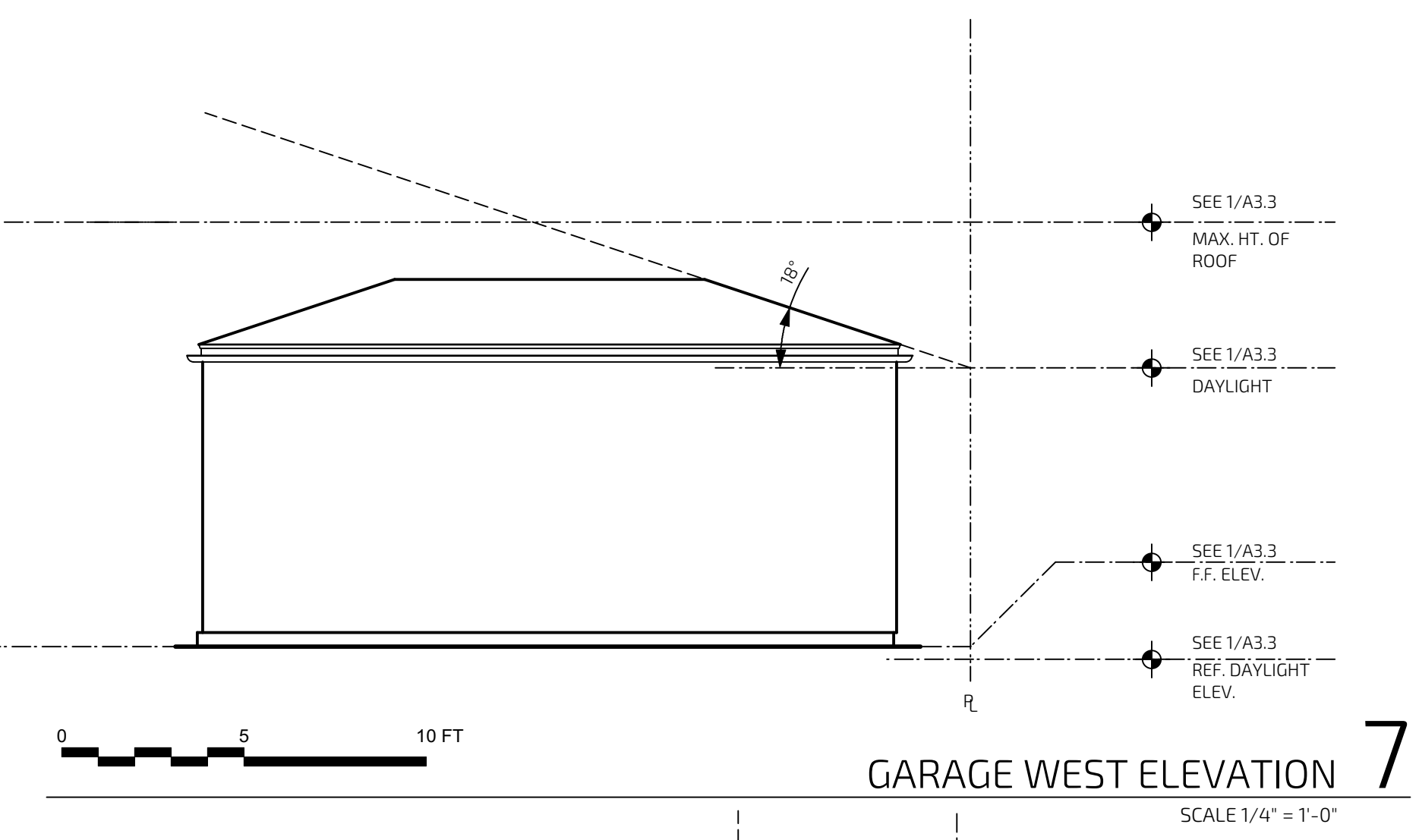
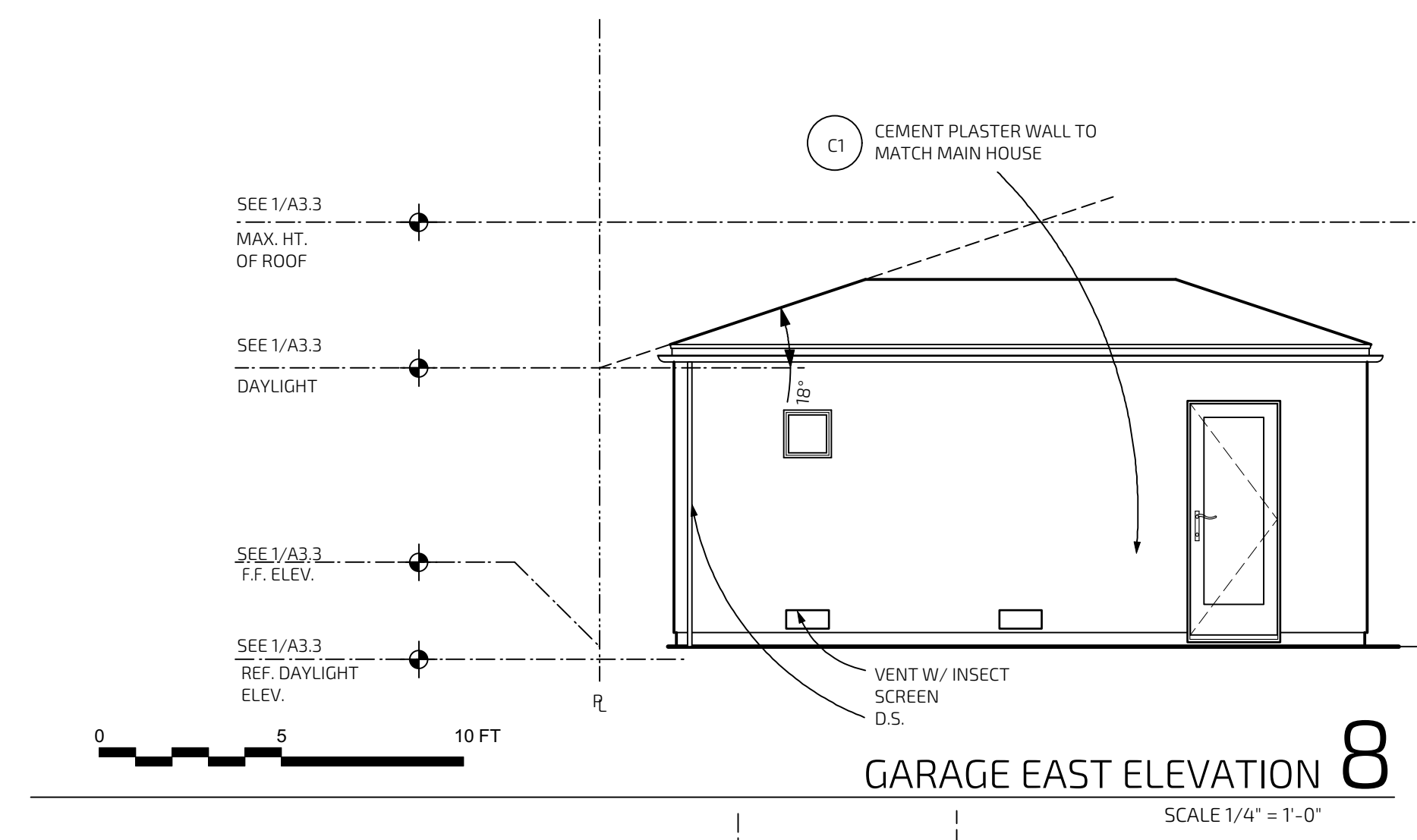
A3.2

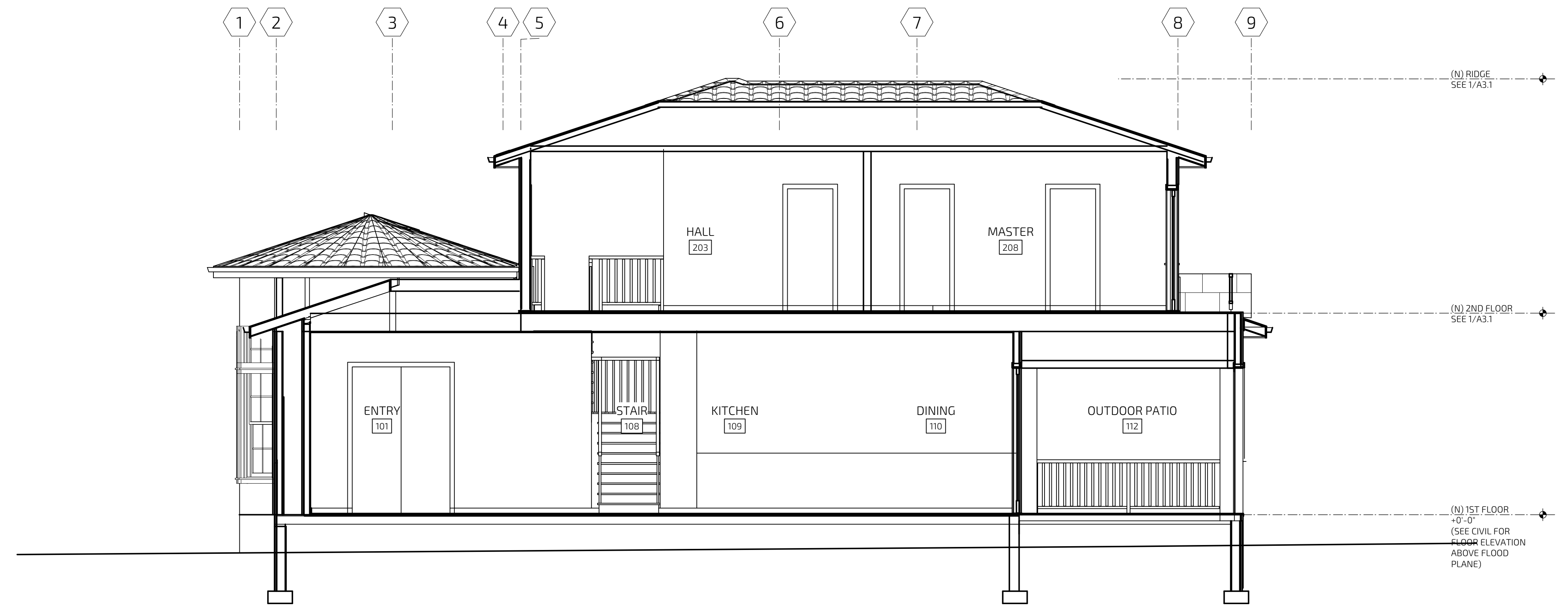


PROPOSED WEST ELEVATION **2**
 SCALE 1/4" = 1'-0"

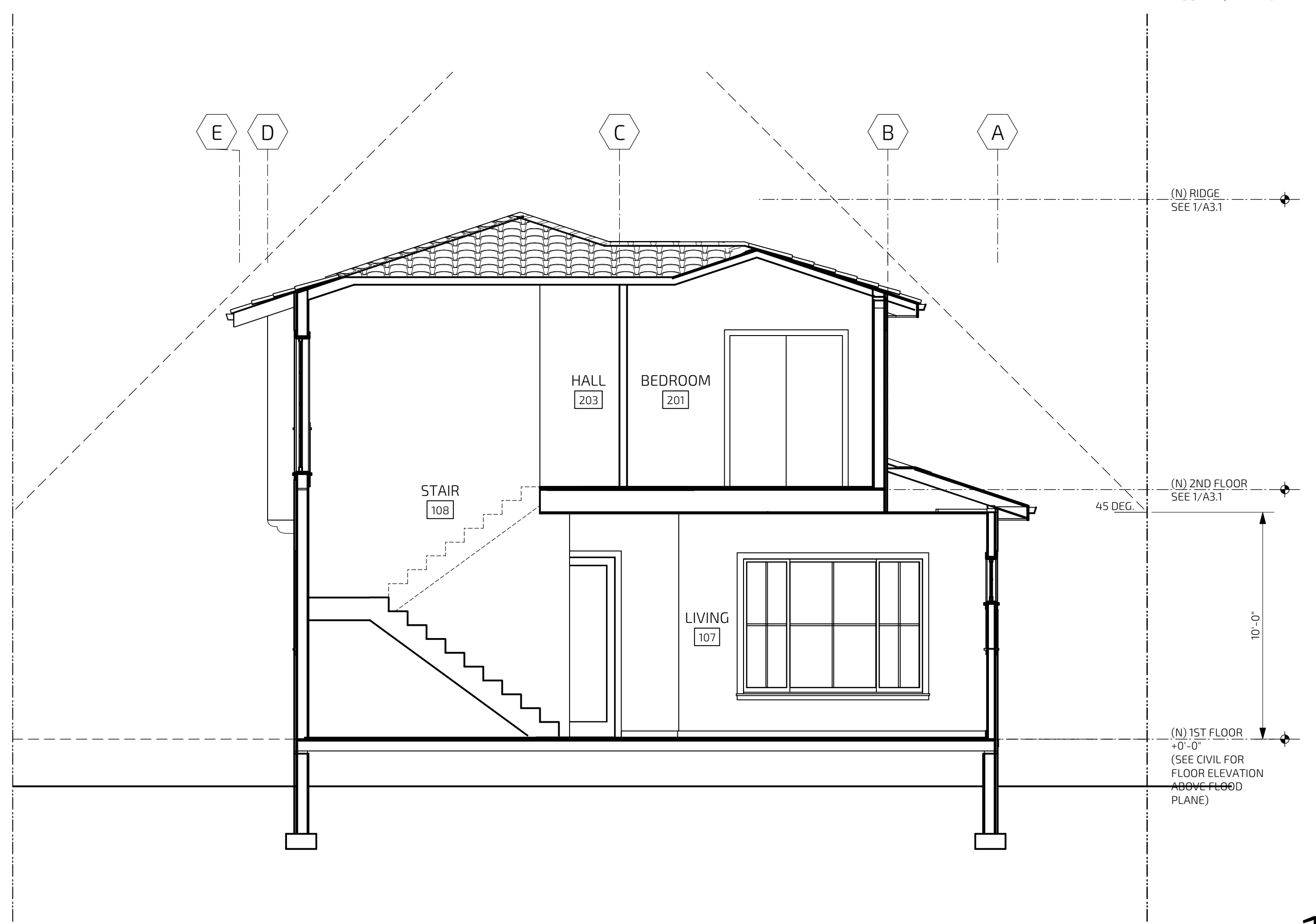


PROPOSED SOUTH (BACK) ELEVATION **1**
 SCALE 1/4" = 1'-0"

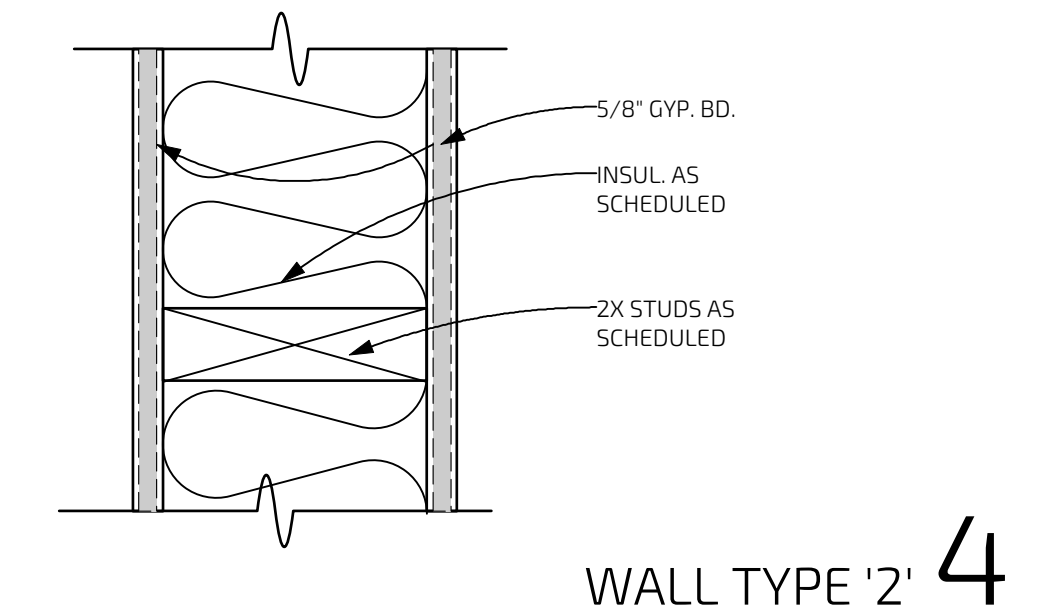




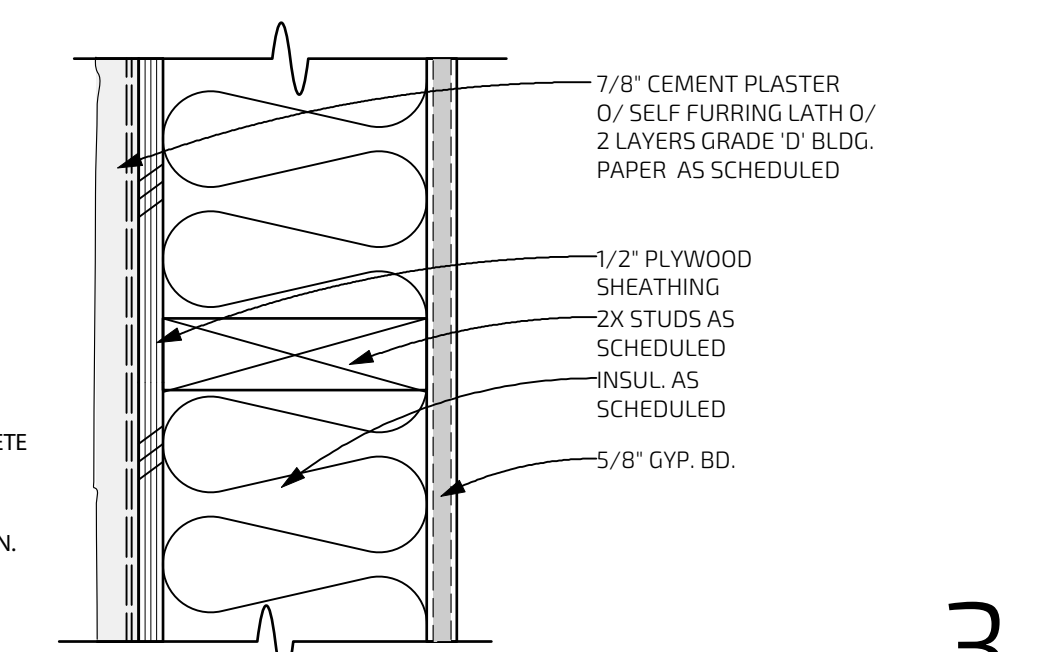
SECTION THROUGH GRID 'C' **2**
 SCALE 1/4" = 1'-0"



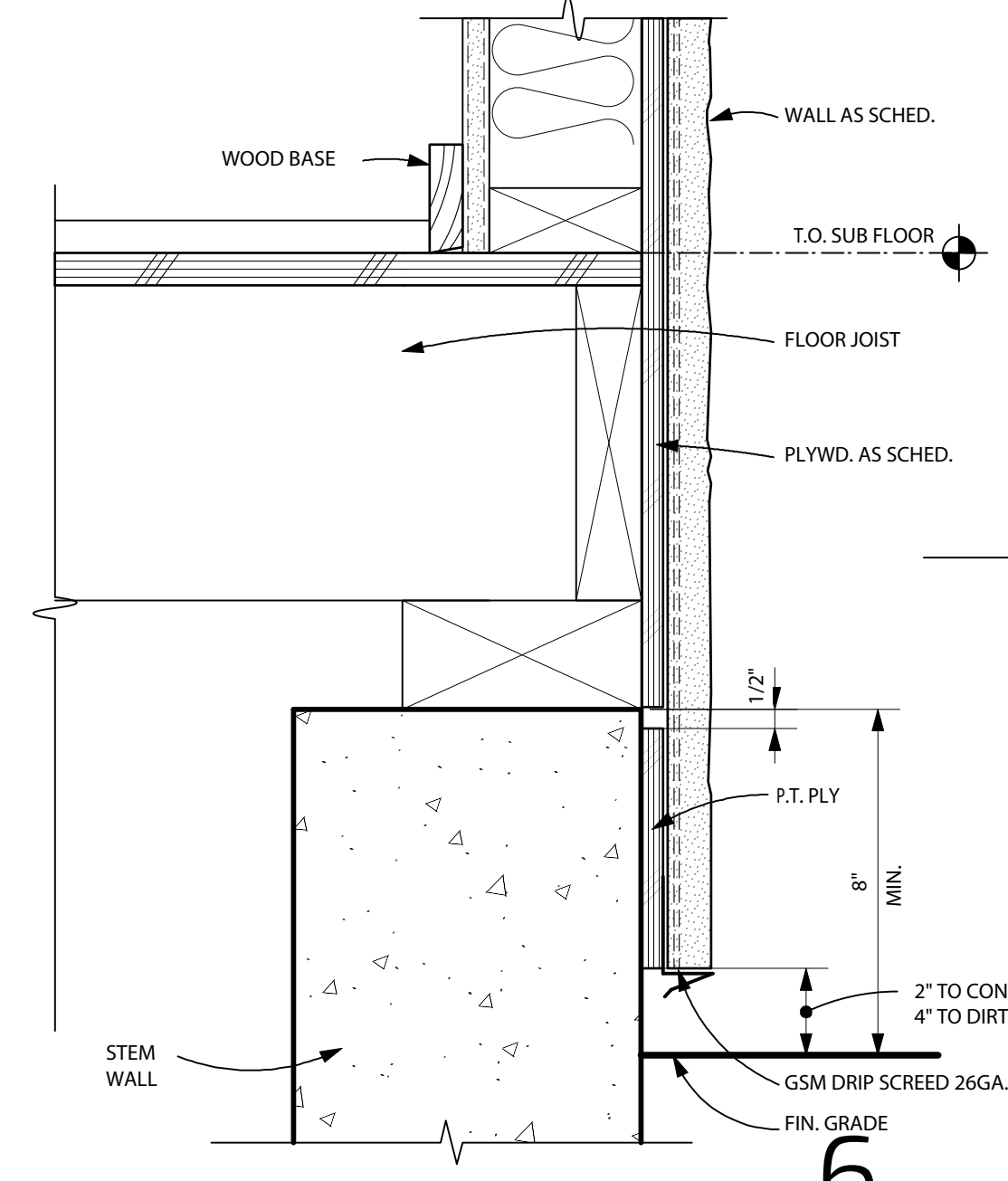
SECTION THROUGH GRID '5' **1**
 SCALE 1/4" = 1'-0"



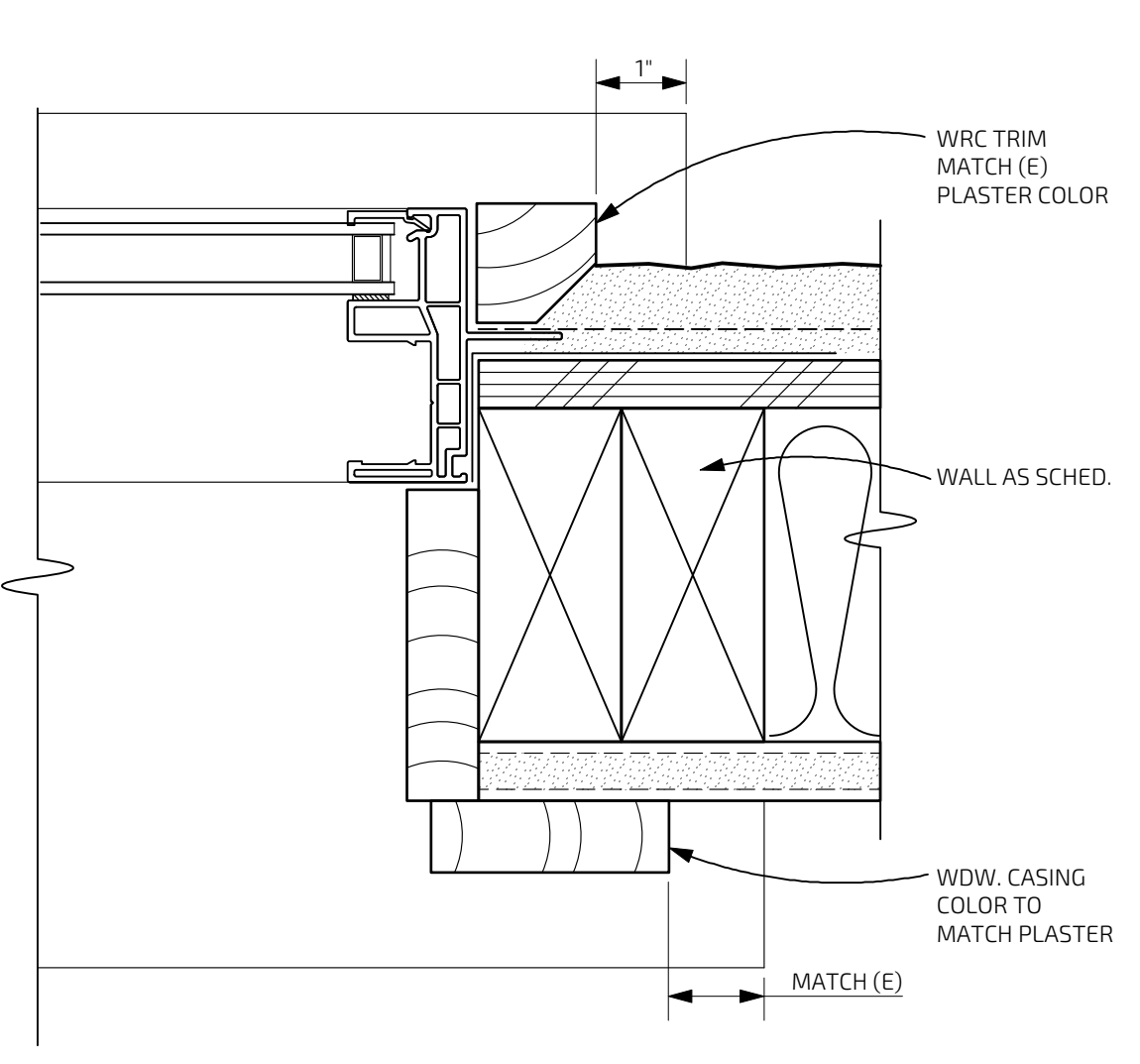
WALL TYPE '2' 4
 SCALE 3" = 1'-0"



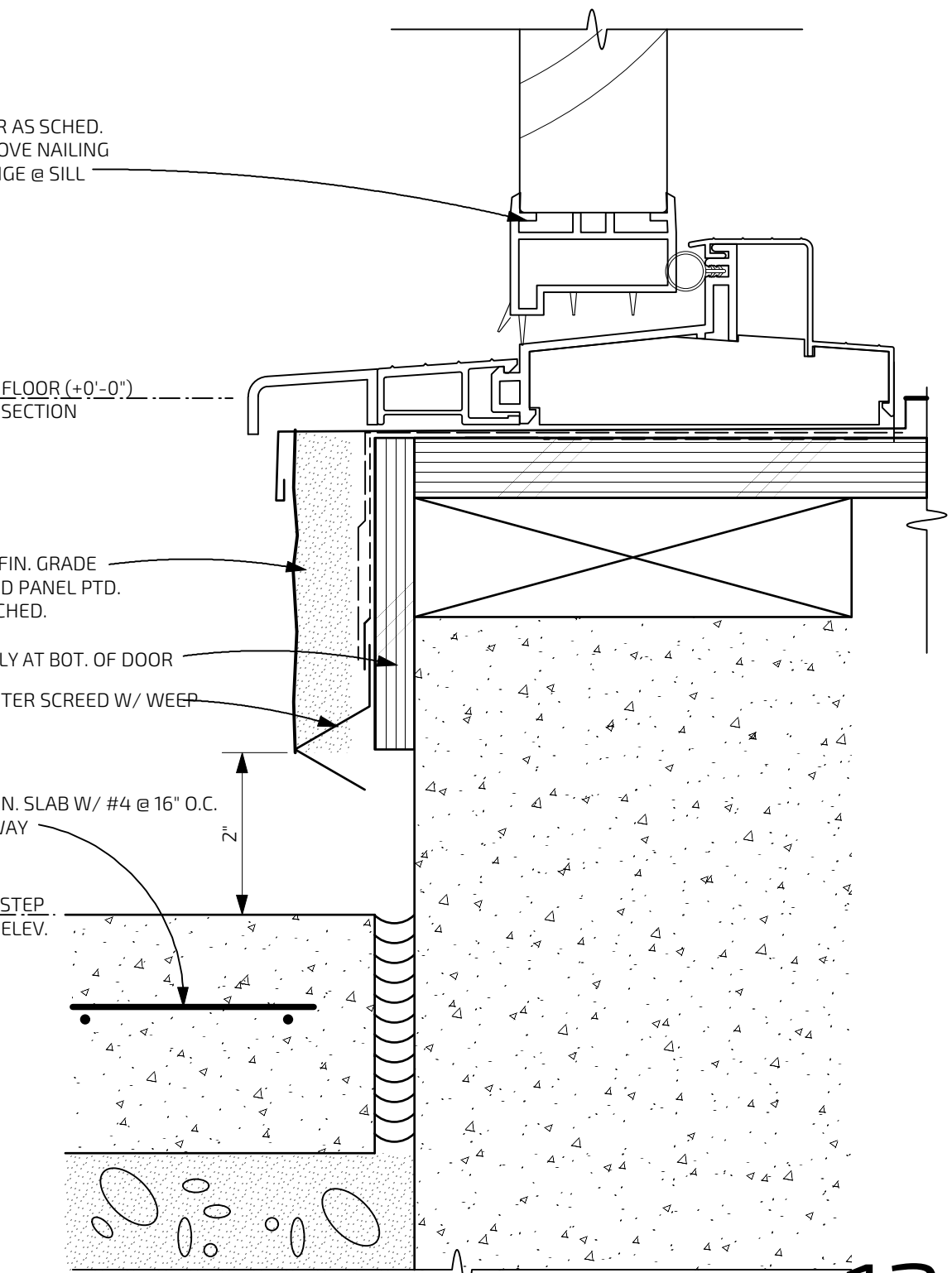
WALL TYPE '1' 3
 SCALE 3" = 1'-0"



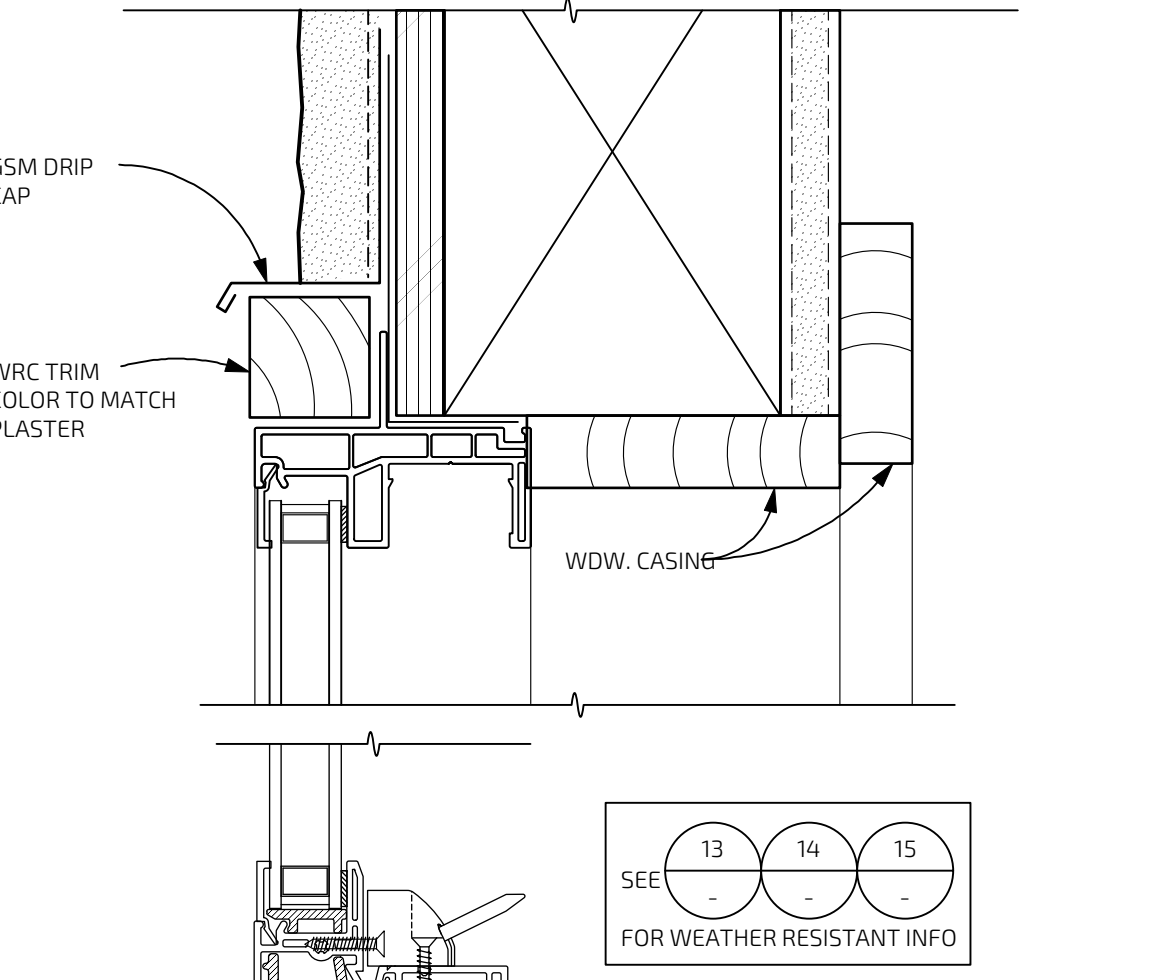
WALL BASE @ PLASTER SIDING 6
 SCALE 3" = 1'-0"



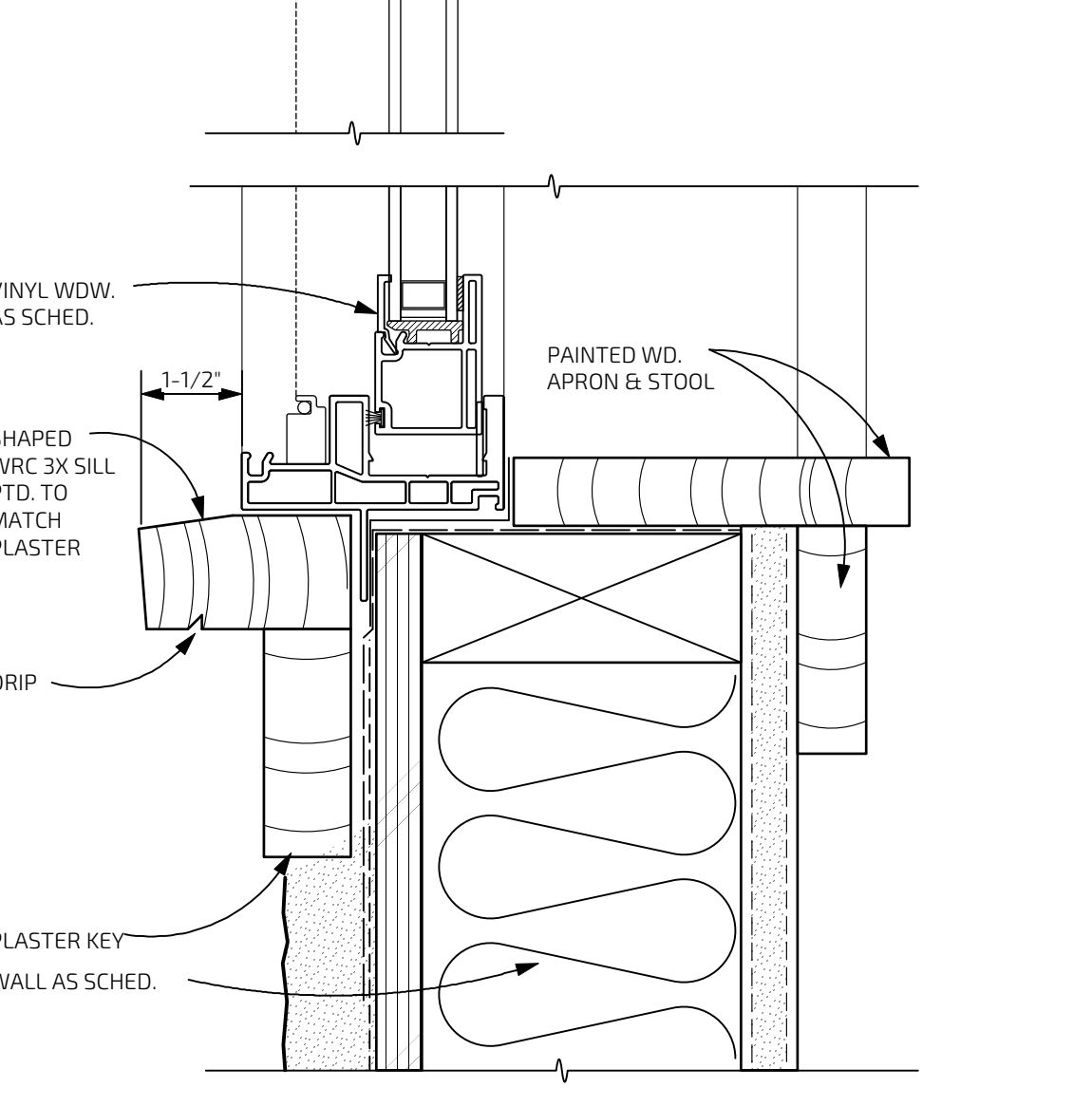
TYP. WDW. JAMB DETAIL @ CEMENT PLASTER FINISH 9
 SCALE 6" = 1'-0"



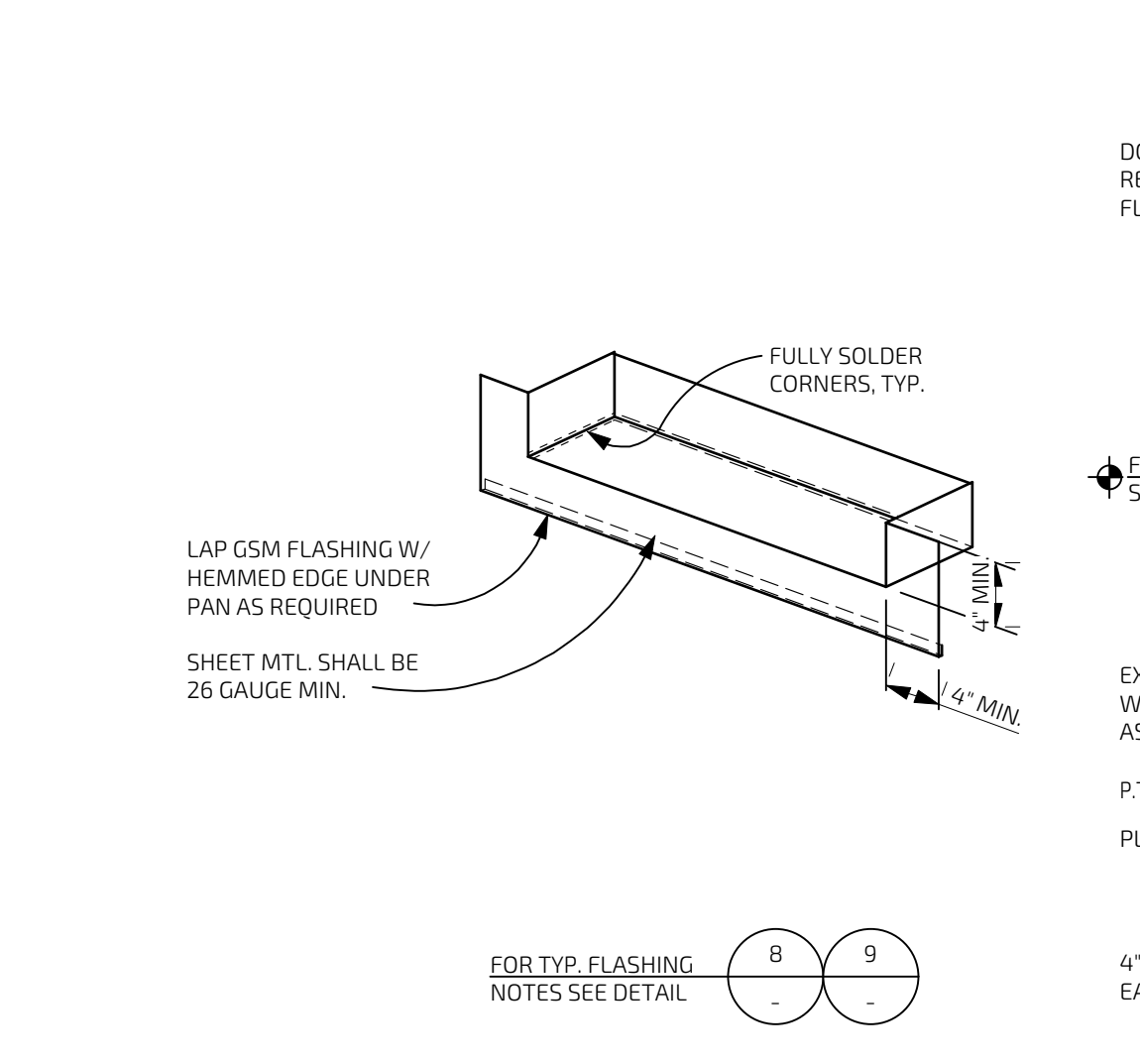
SLIDING DOOR SILL (SWING DR SIM.) 12
 SCALE 6" = 1'-0"



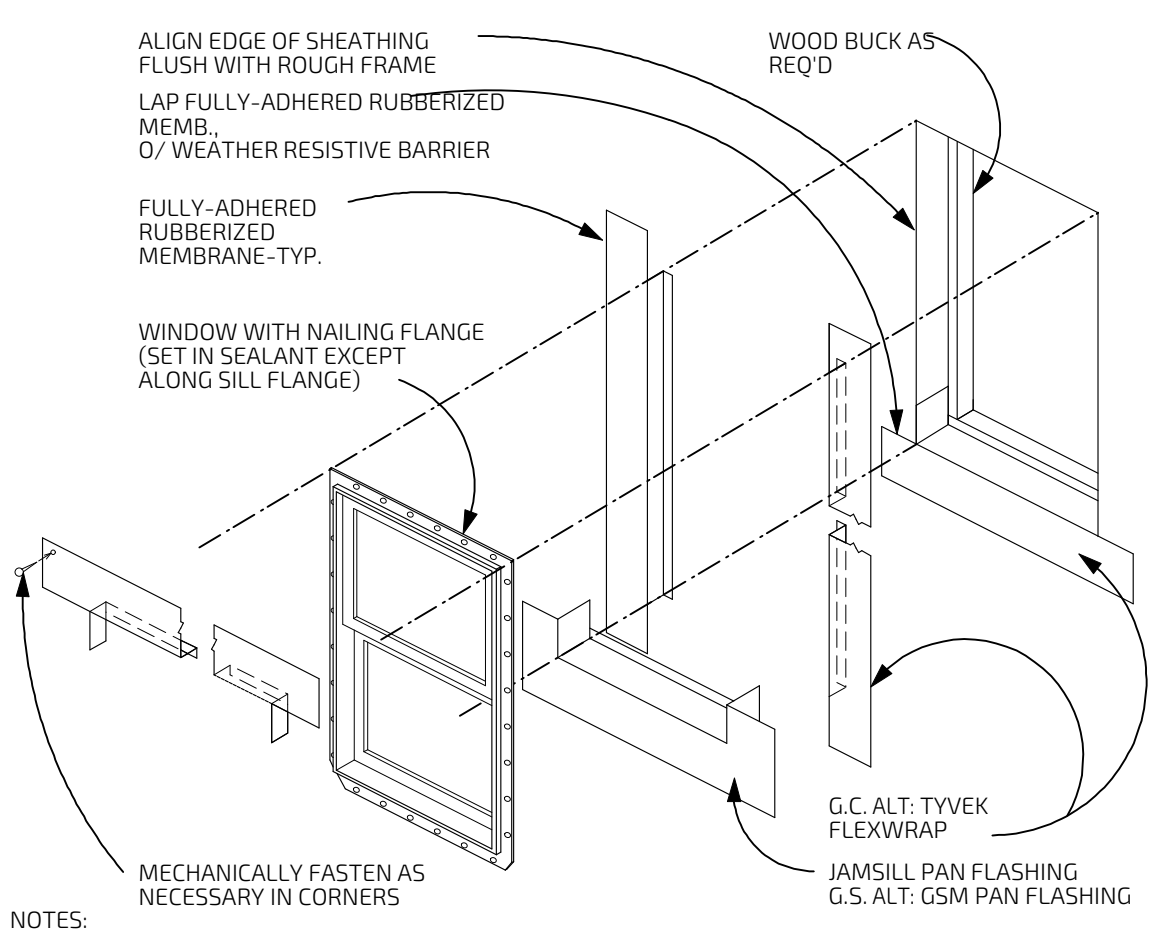
TYP. WEATHER RESISTANT BARRIER @ WINDOW 13
 SCALE: N.T.S.



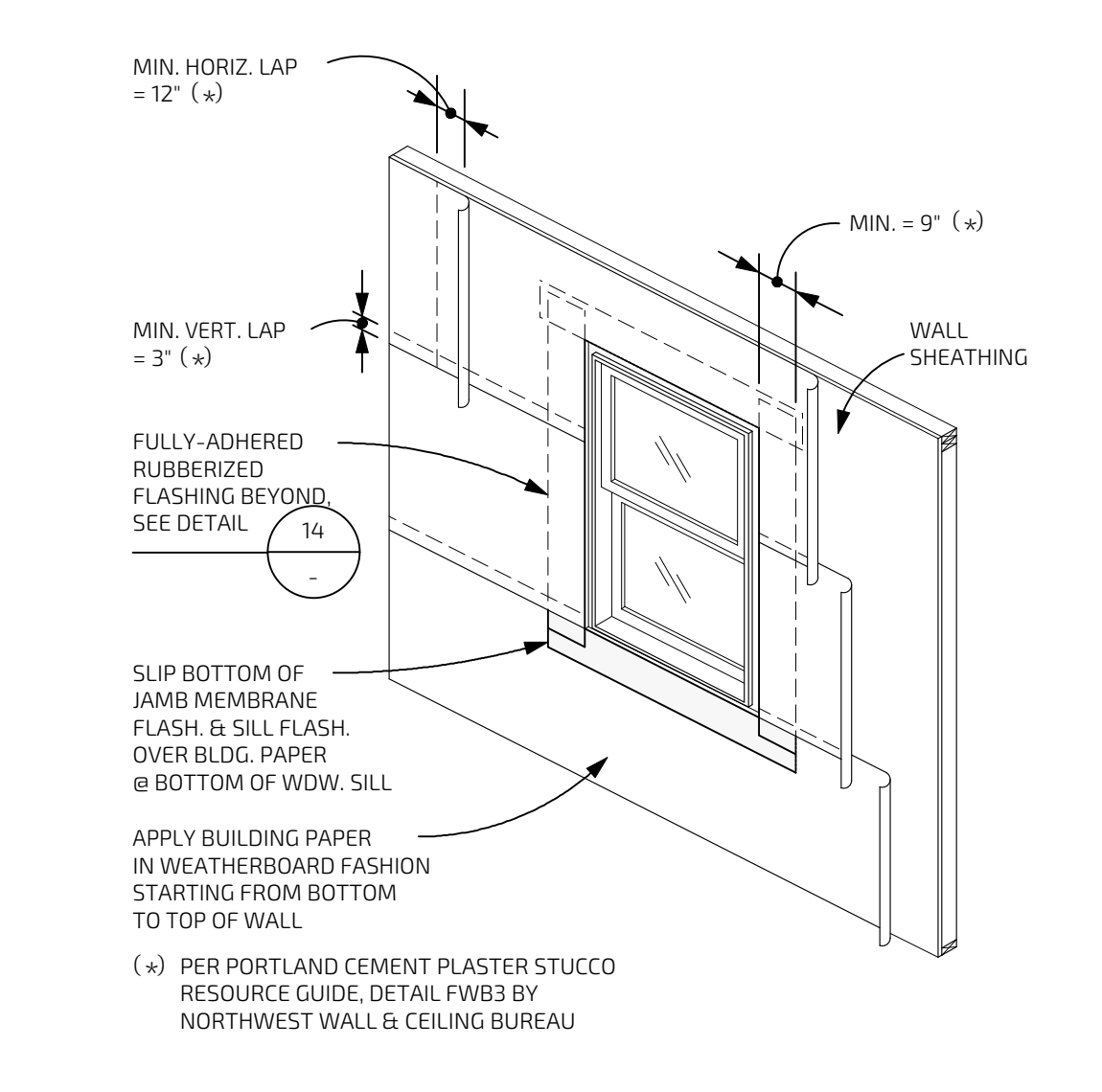
TYPICAL WDW. SILL, MEETING RAIL & HEAD DETAILS @ CEM. PLASTER FINISH (DR HEAD SIM.) 10
 SCALE: 6" = 1'-0"



PAN FLASHING DETAIL (FOR DOORS) 15
 SCALE: N.T.S.

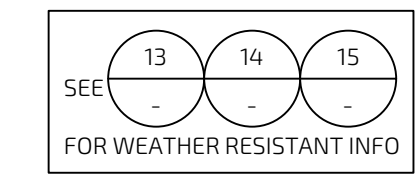


TYP. SELF ADHERED FLASHING @ WINDOW 14
 SCALE: N.T.S.



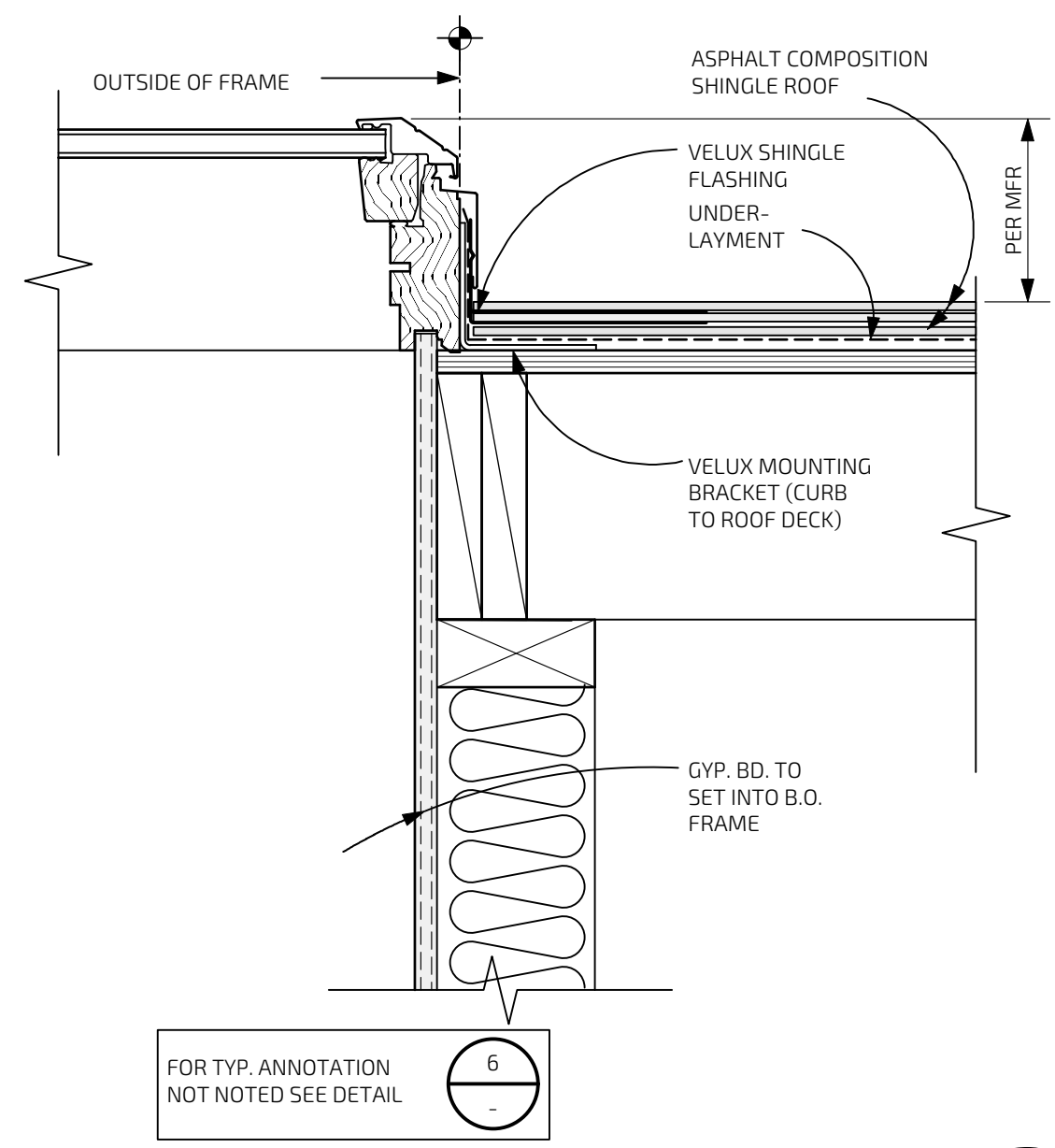
TYP. WEATHER RESISTANT BARRIER @ WINDOW 13
 SCALE: N.T.S.

- NOTES:
1. FOR CONCRETE, MASONRY OR WHERE ADHESION IS MARGINAL USE APPLICABLE PRIMER TO PROMOTE MEMBRANE ADHESION
 2. INSTALL MEMBRANE WITH WEATHER RESISTIVE BARRIER TO FORM WATER-SHEDDING LAPS
 3. INSTALL WINDOW PER MANUFACTURER'S RECOMMENDATION
 4. FOR FURTHER GUIDELINES AND RECOMMENDATIONS SEE AAMA 2400-02 'STANDARD PRACTICE FOR INSTALLATION OF WINDOWS WITH A MOUNTING FLANGE IN STUD FRAME CONSTRUCTION'

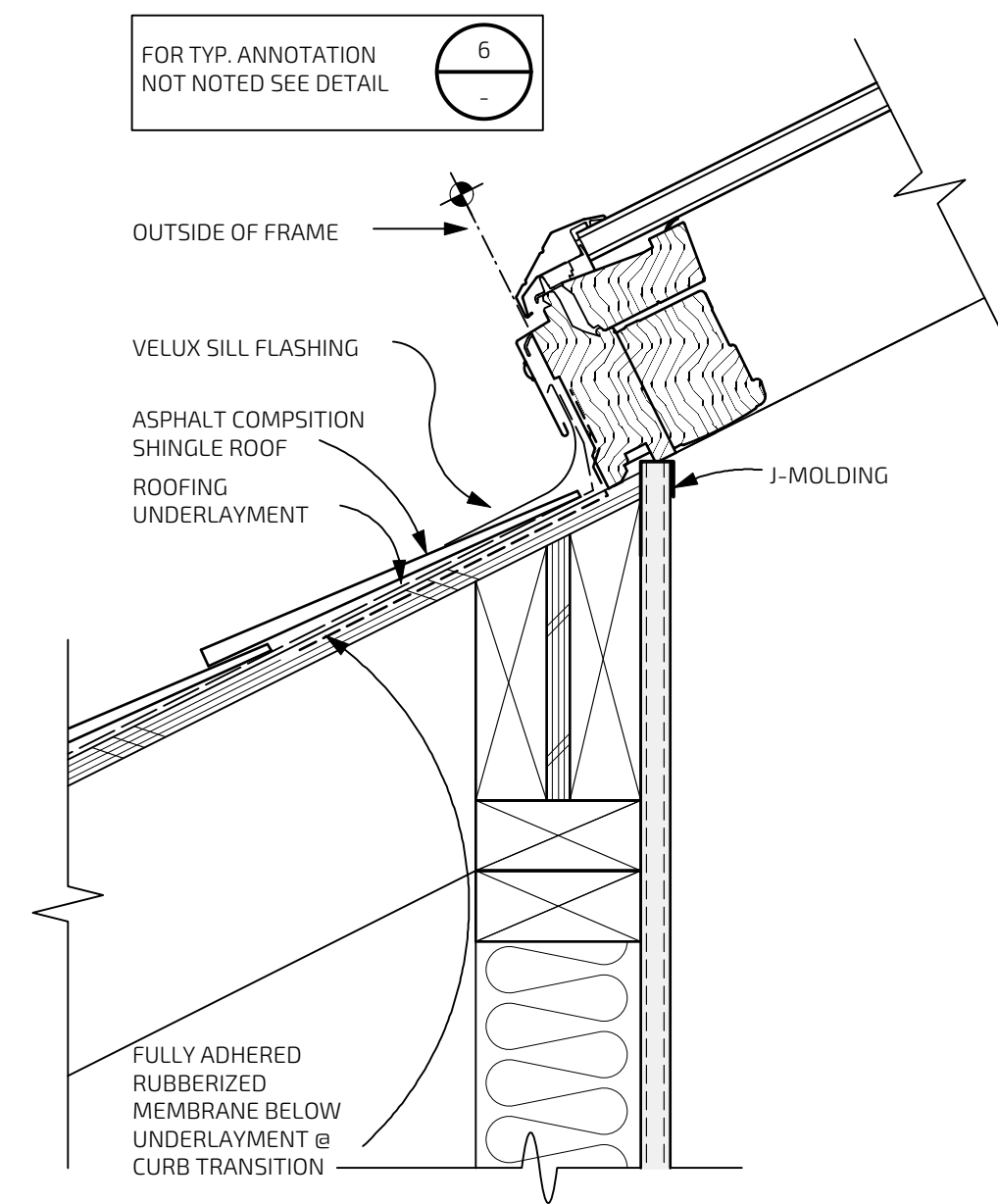


NOT USED 2
 SCALE 1/4" = 1'-0"

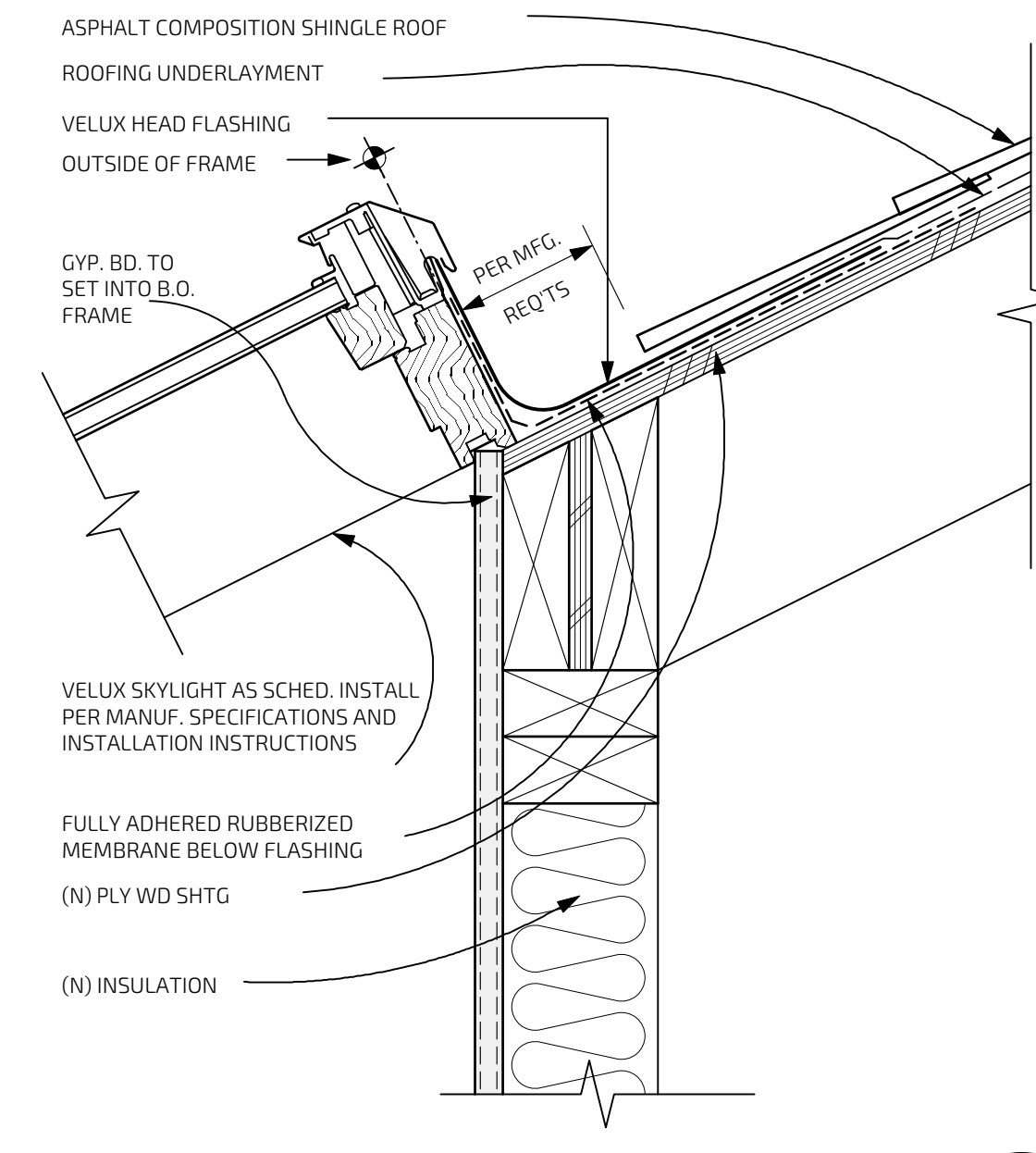
NOT USED 1
 SCALE 1/4" = 1'-0"



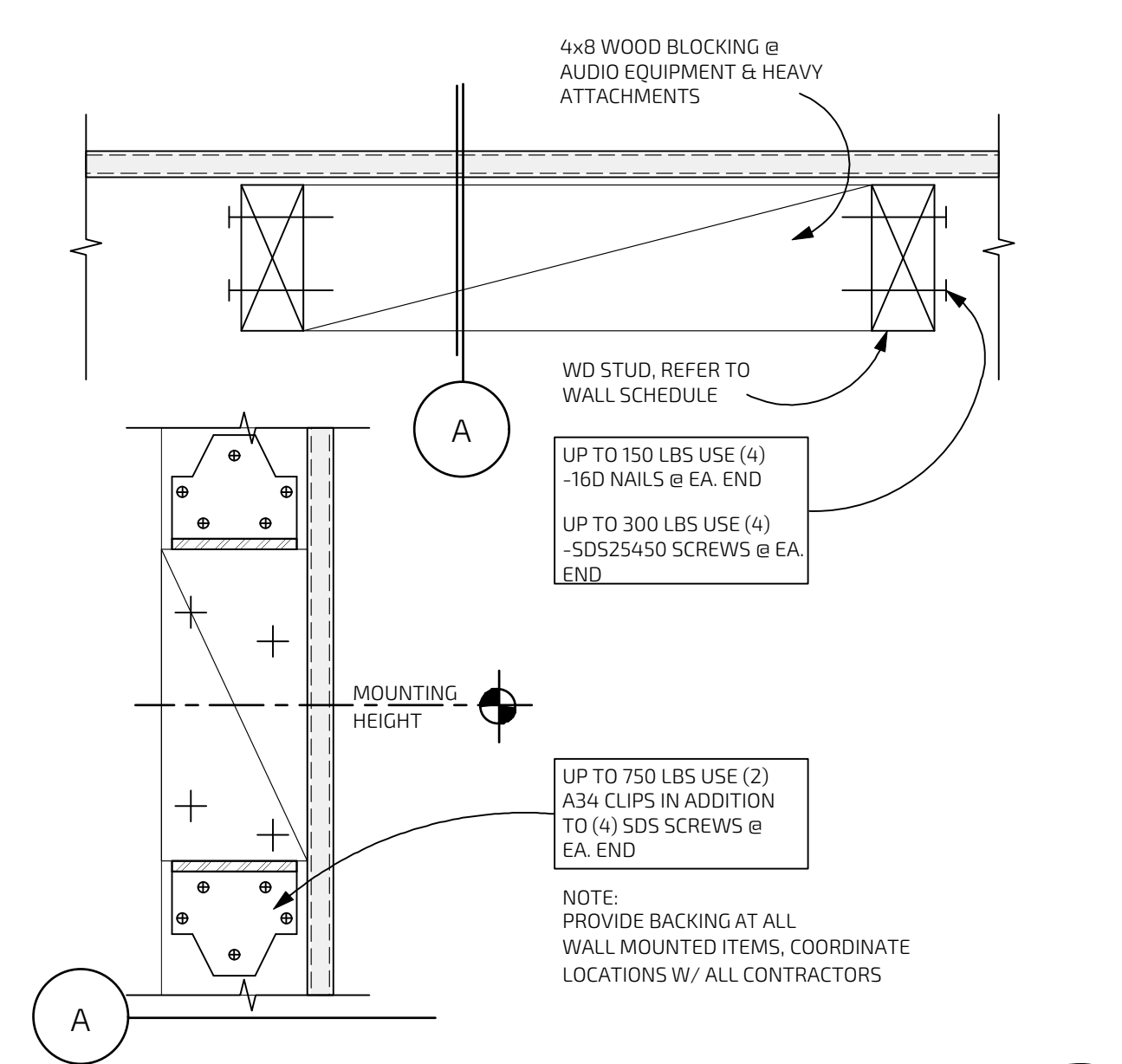
SKYLIGHT DETAIL JAMB CONDITION 12
SCALE: 3" = 1'-0"



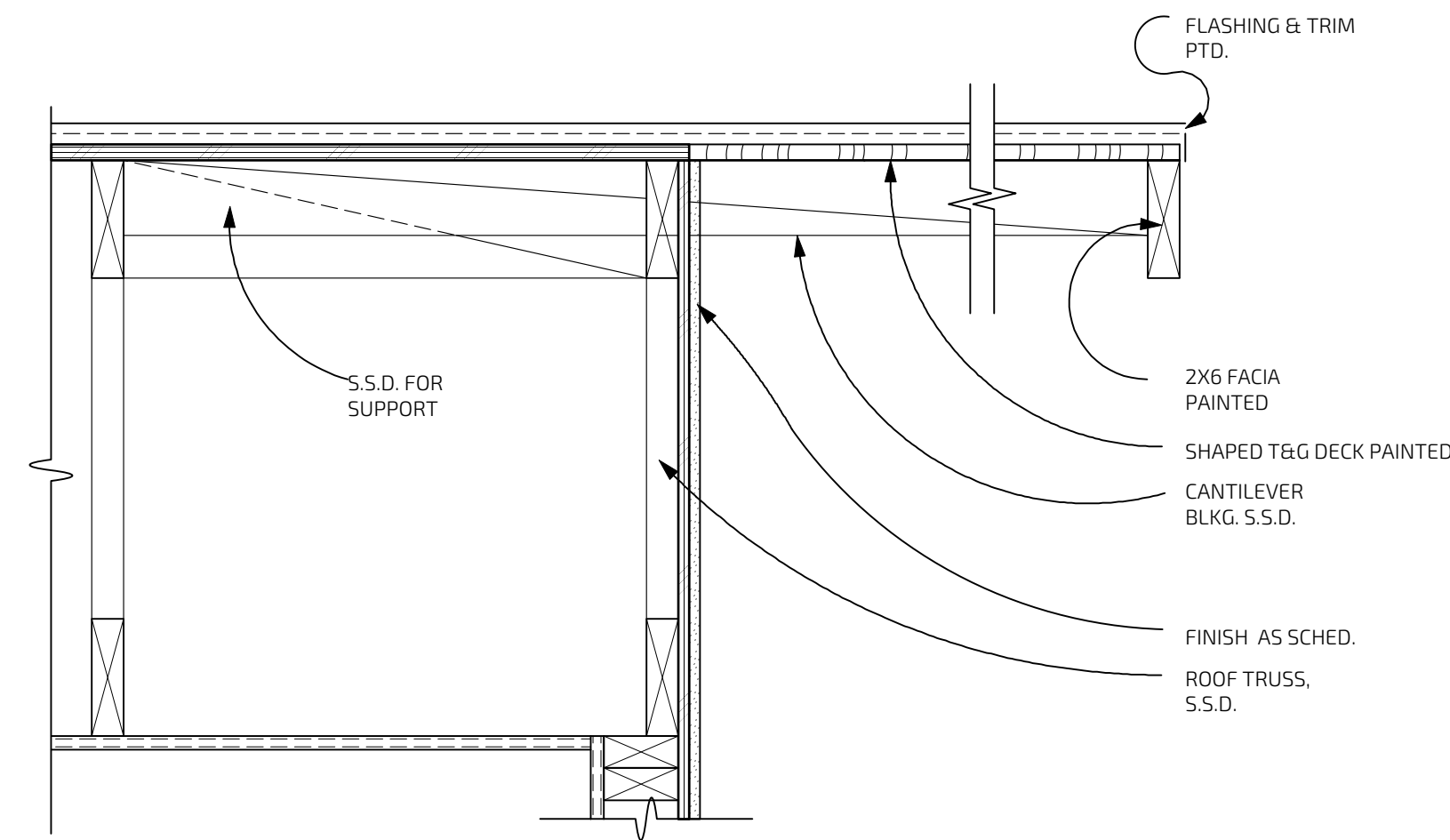
SKYLIGHT DETAIL SILL CONDITION 9
SCALE: 3" = 1'-0"



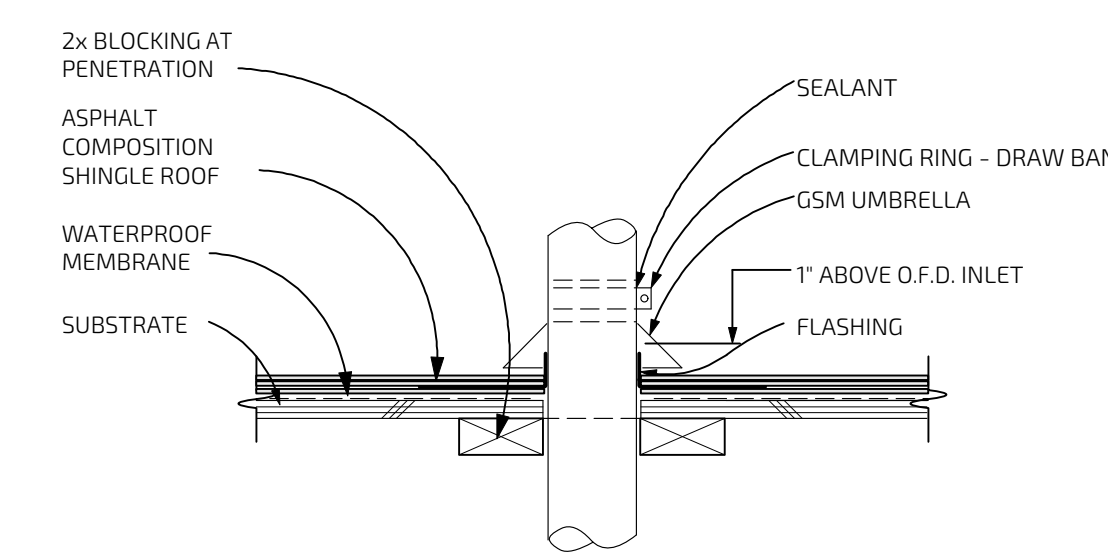
SKYLIGHT DETAIL HEAD CONDITION 6
SCALE: 3" = 1'-0"



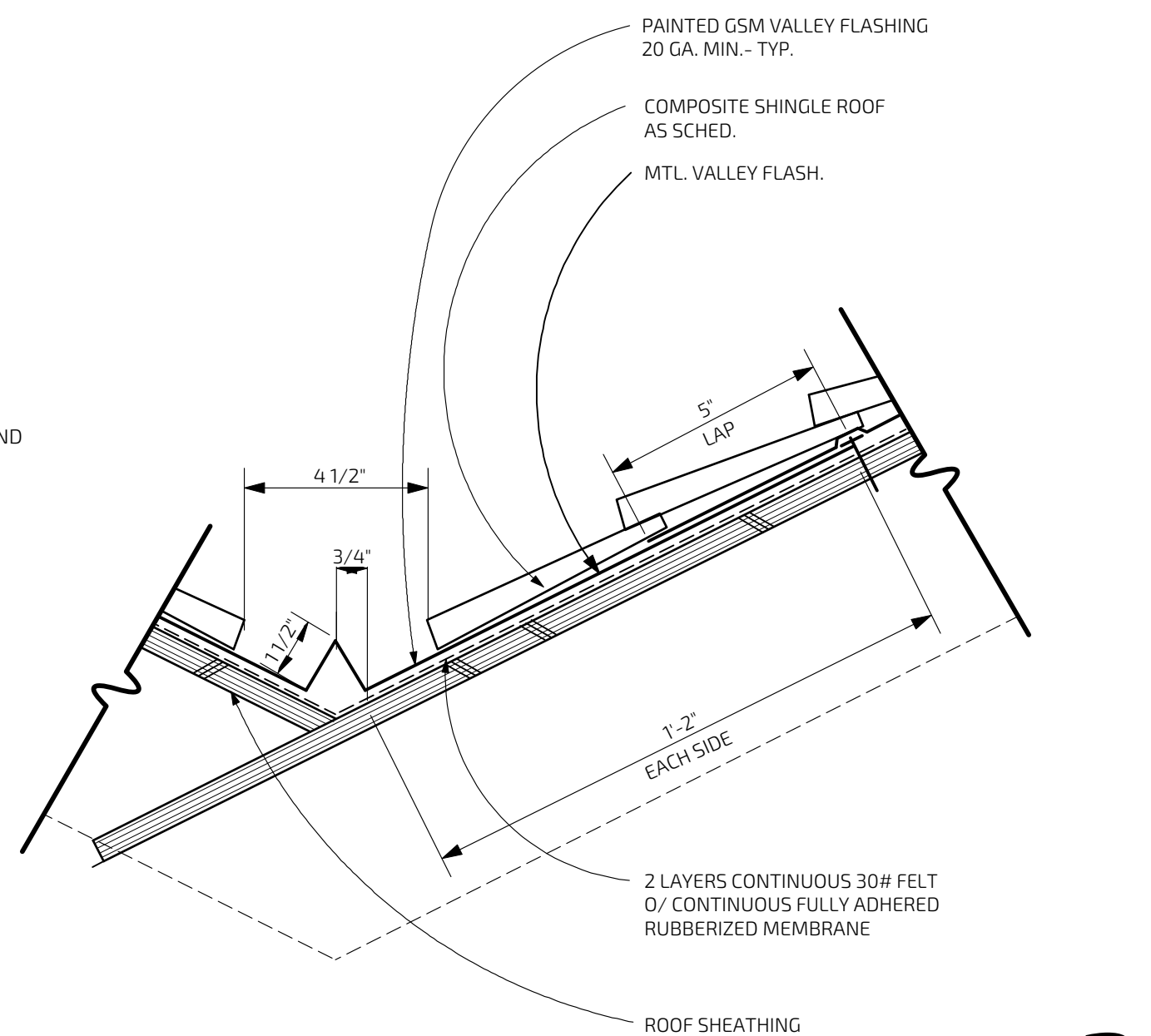
TYPICAL BLOCKING DETAIL 3
SCALE: N.T.S.



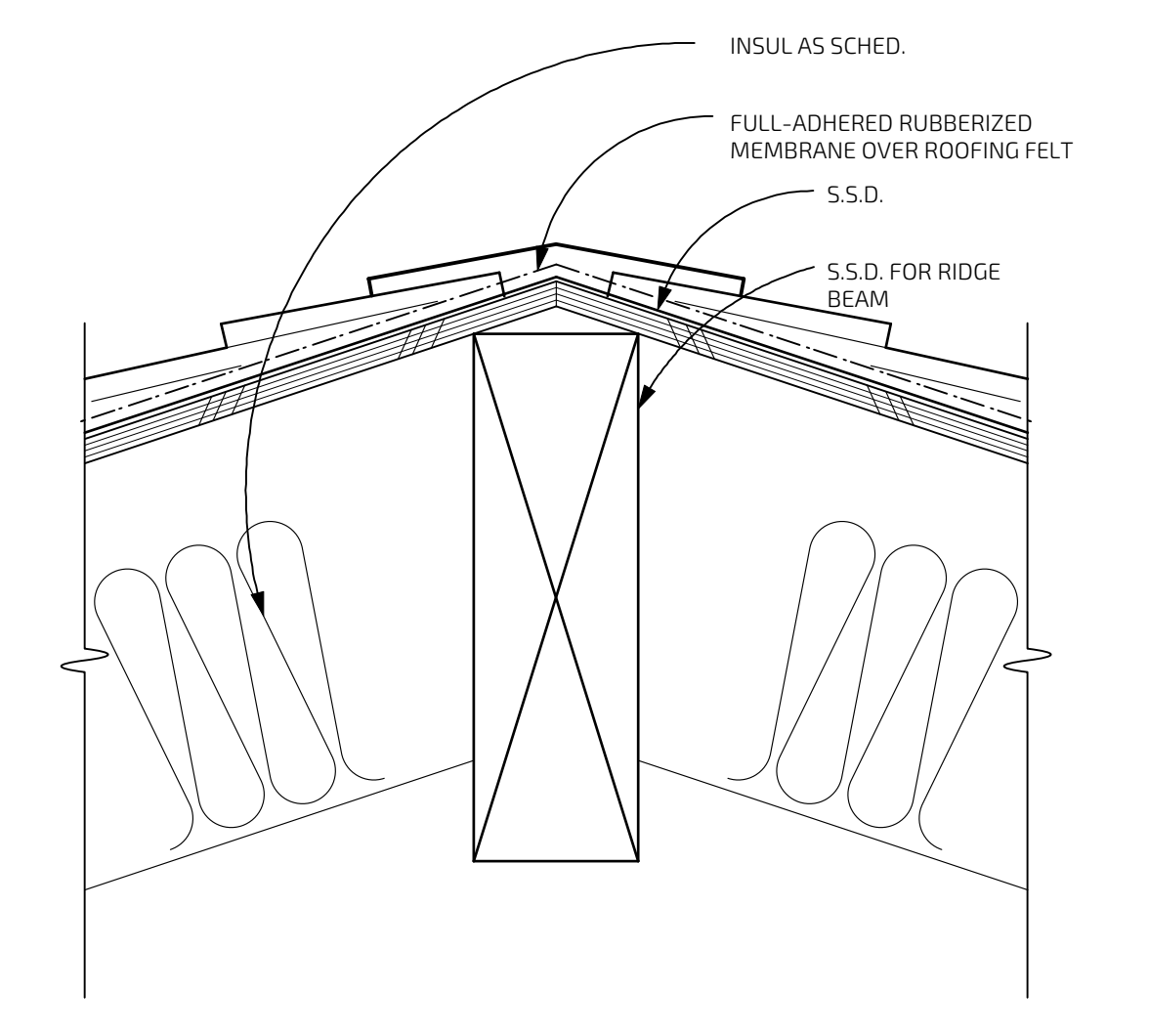
GABLE @ RIDGE 8
SCALE: 1-1/2" = 1'-0"



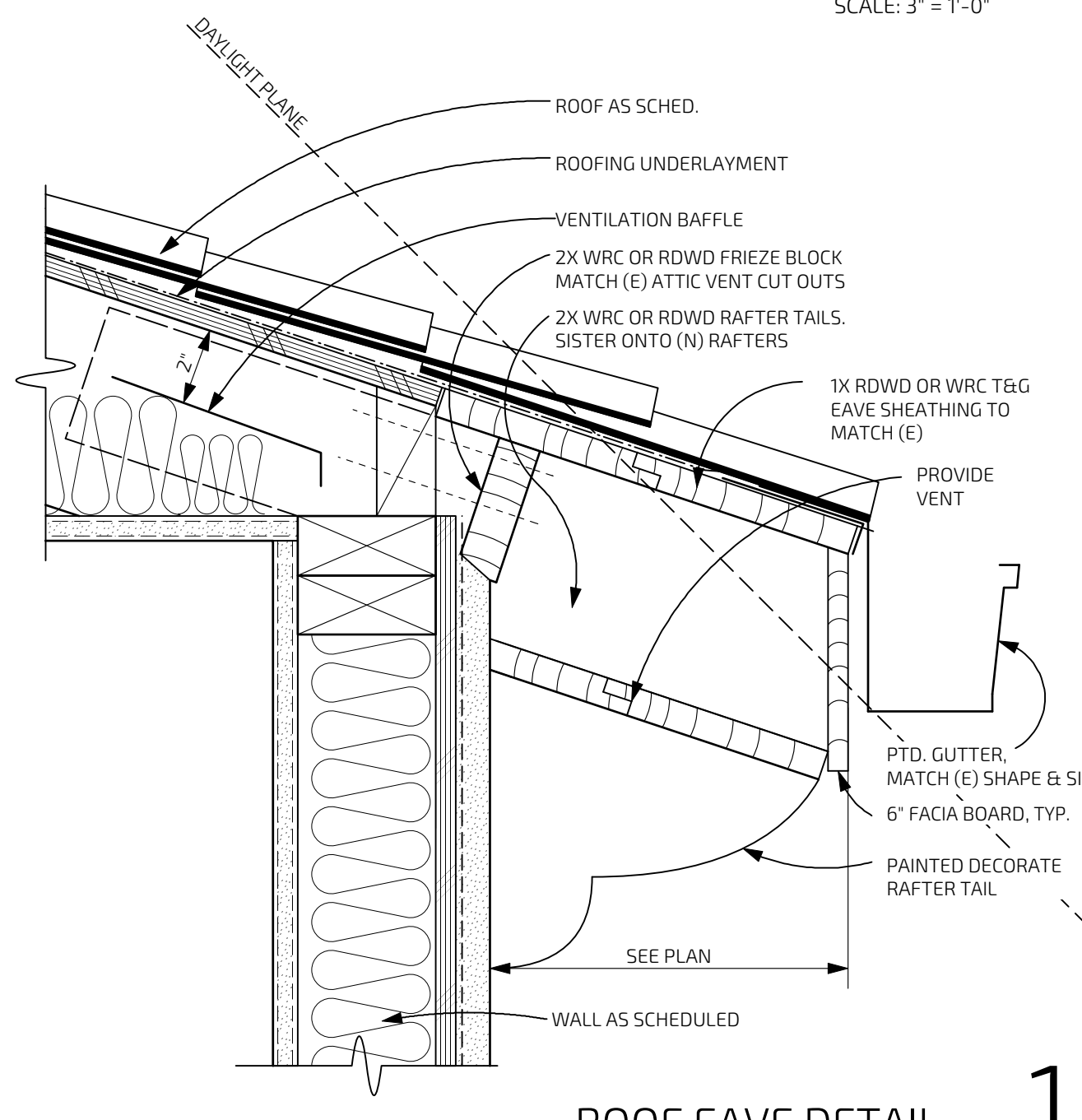
ROOF PENETRATION FLASHING 5
SCALE: N.T.S.



ROOF VALLEY DETAIL 2
SCALE: 3" = 1'-0"



ROOF RIDGE DETAIL 4
SCALE: 3" = 1'-0"



ROOF EAVE DETAIL 1
SCALE: 3" = 1'-0"

NOT USED 10
SCALE: 3" = 1'-0"

NOT USED 7
SCALE: 3" = 1'-0"