



3882 MAGNOLIA DRIVE

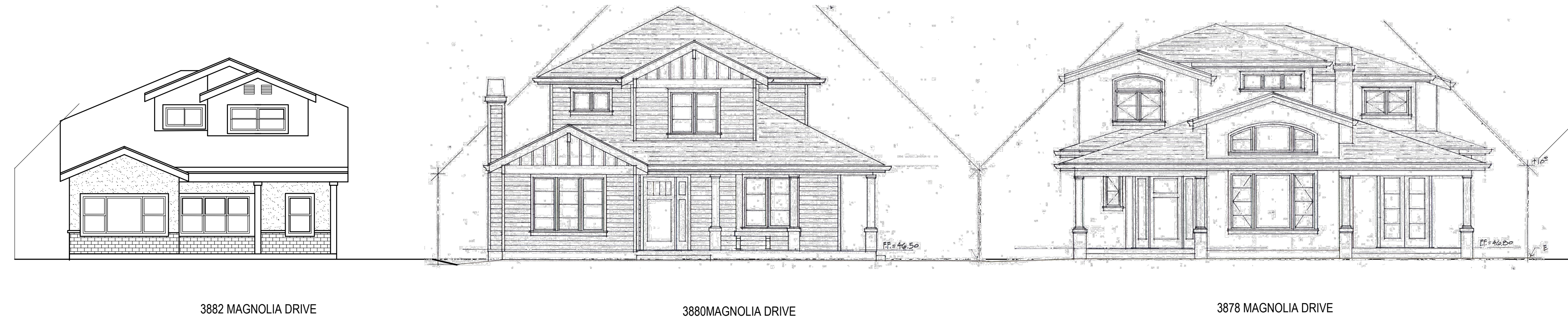


3880 MAGNOLIA DRIVE



3878 MAGNOLIA DRIVE

EXISTING STREETScape



3882 MAGNOLIA DRIVE

3880 MAGNOLIA DRIVE

3878 MAGNOLIA DRIVE

1/8"=1'-0"

INSTALL A 13-D FIRE SPRINKLER SYSTEM INCLUDING FULL COVERAGE IN THE ATTIC UNDER SEPARATE PERMIT.

PROPOSED STREET SCape

BLOCK MAP



TOP VIEW



DEFERRED PERMIT

INSTALL A NFPA 13-D FIRE SPRINKLER SYSTEM UNDER SEPARATE PERMIT. FIRE SPRINKLER PROTECTION WILL BE REQUIRED AT STORAGE AREA AND COVERED PORCHES. AUTOMATIC FIRE EXTINGUISHING SYSTEM (AFES) PERMIT IS A DEFERRED PERMIT. SEPARATED FIRE CODE PERMIT, PLAN CALCULATIONS, DETAILS AND SPECIFICATIONS WILL BE SUBMITTED AND APPROVED BY THE CPA FIRE DEPARTMENT.

DEFERRED SUBMITTALS TO BE REVIEWED BY PROJECT ARCHITECT OR ENGINEER OF RECORD AND CERTIFIED PRIOR TO SUBMITTAL FOR PLAN REVIEW.

VICINITY MAP



PROJECT DATA

**PROJECT DATA**  
 3880 MAGNOLIA DRIVE  
 APN: 124-30-022  
 ZONE DISTRICT: R-1  
 PROJECT IS NOT SUBJECT TO CONTEXTUAL FRONT YARD SETBACK  
 PROJECT IS NOT IN THE FLOOD ZONE  
 GARAGE LOCATION IS SUBJECT TO CONTEXTUAL GARAGE PLACEMENT STANDARDS.

SHEET INDEX

- TP VICINITY MAP, NEIGHBORHOOD CONTEXT, SUMMARY, STREET SCAPE, PROJECT DATA
- T1 CITY OF PALO ALTO SPECIAL TREE PROTECTION SHEET
- GB1 GREEN POINT CHECKLIST
- A1 ARCHITECTURAL SITE PLAN, LOT SUMMARY
- A2 FIRST FLOOR PLAN
- A3 SECOND FLOOR PLAN
- A4 ROOF PLAN
- A5 EXTERIOR ELEVATIONS
- A6 EXTERIOR ELEVATIONS
- A7 BUILDING SECTIONS
- G1 GARAGE
- FA1 FLOOR AREA WORKSHEET
- C0 SURVEY

REVISIONS	BY

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NEW RESIDENCE FOR:  
 GREG XIONG  
 3880 MAGNOLIA DRIVE  
 PALO ALTO, CALIFORNIA

TITLE PAGE

DRAWN	
U.D.	
CHECKED	
DATE	06.24.15
SCALE	
JOB NO.	3880 MAGNOLIA
SHEET	TP

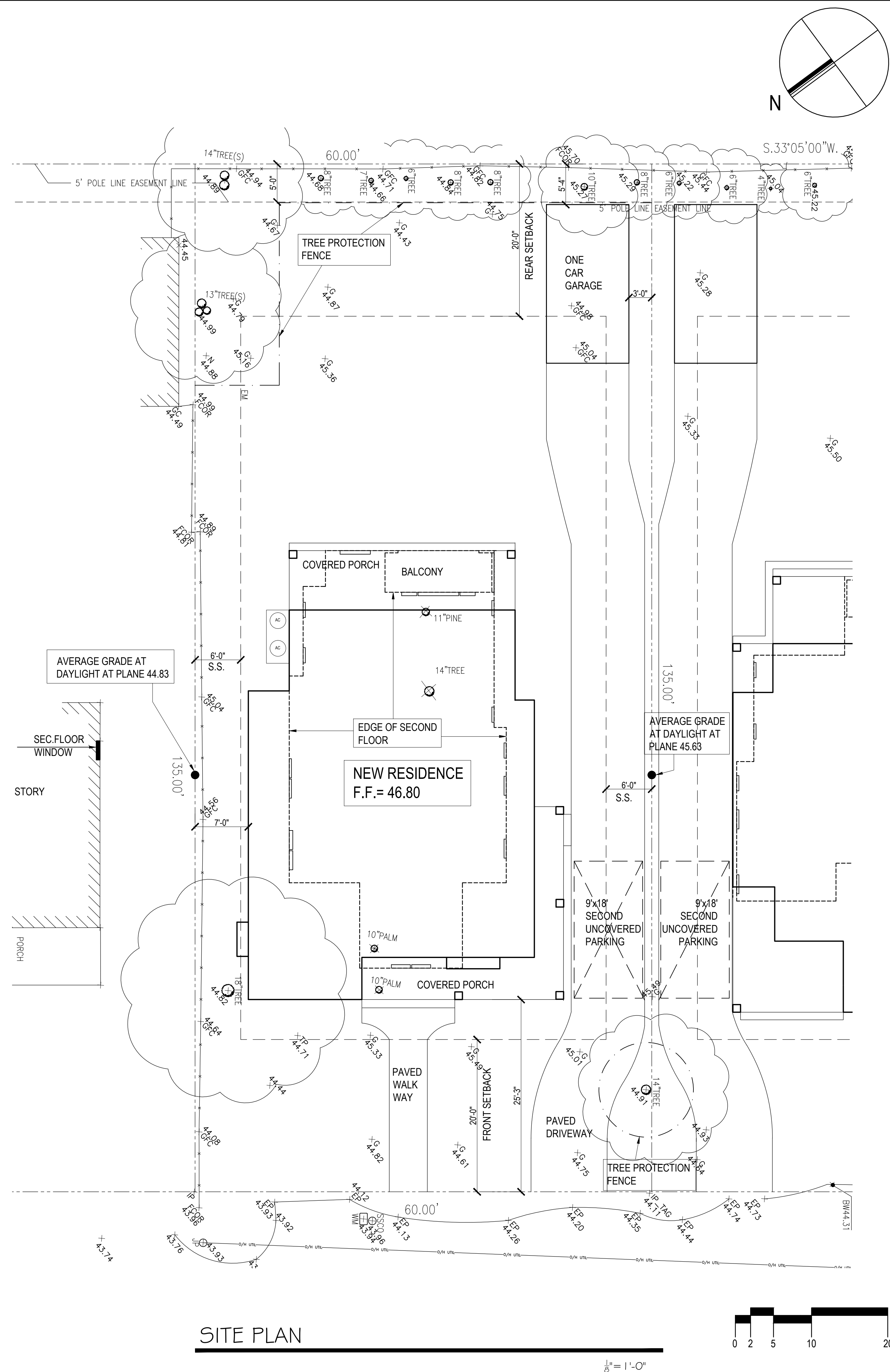
**LEGEND**

SITE PLAN LEGEND:

- — — — — PROPERTY LINE
- - - - - SETBACK LINE
- ⊠ EXISTING STRUCTURE TO BE REMOVED
- ▭ NEW FIRST FLOOR
- ▭ NEW SECOND FLOOR
- 16" TREE
- TREE: TRUNK DIAMETER IN INCHES
- ✕ TREE TO BE REMOVED
- x 23.2 EXISTING SPOT ELEVATION

**FLOOR AREA**

<u>LOT COVERAGE SUMMARY:</u>	
LOT AREA .....	8,100.00 SQ. FT.
FIRST FLOOR .....	1,717.04 SQ. FT.
GARAGE .....	225.91 SQ. FT.
BAY WINDOW .....	7.54 SQ. FT.
SECOND FLOOR OVERHANG.....	121.94 SQ. FT.
BALCONY OVERHANG .....	79.19 SQ. FT.
FRONT PORCH .....	195.89 SQ. FT.
BACK PORCH .....	49.78 SQ. FT.
TOTAL .....	2,397.29 SQ. FT. 29.59 %
ALLOWABLE .....	2,835.00 SQ. FT. 35.0 %
<u>FLOOR AREA SUMMARY:</u>	
FIRST FLOOR .....	1,717.04 SQ. FT.
SECOND FLOOR .....	1,236.15 SQ. FT.
GARAGE .....	225.91 SQ. FT.
TOTAL FLOOR AREA .....	3,179.10 SQ. FT.
ALLOWABLE FLOOR AREA .....	3,180.00 SQ. FT.



**SITE PLAN**

1/8" = 1'-0"

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 PALO ALTO, CALIFORNIA

SITE PLAN

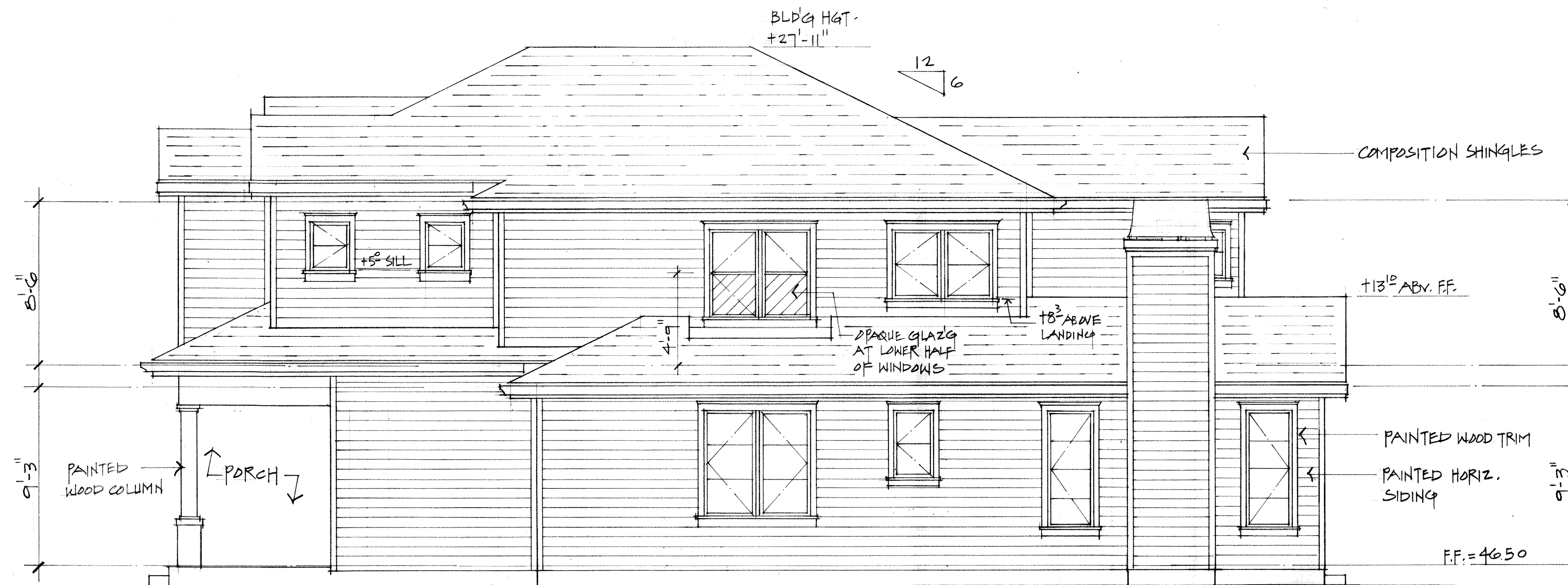
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CHECKED
DATE 06.24.15
SCALE 1/8" = 1'-0"
JOB NO. 3880 MAGNOLIA
SHEET

**A1**

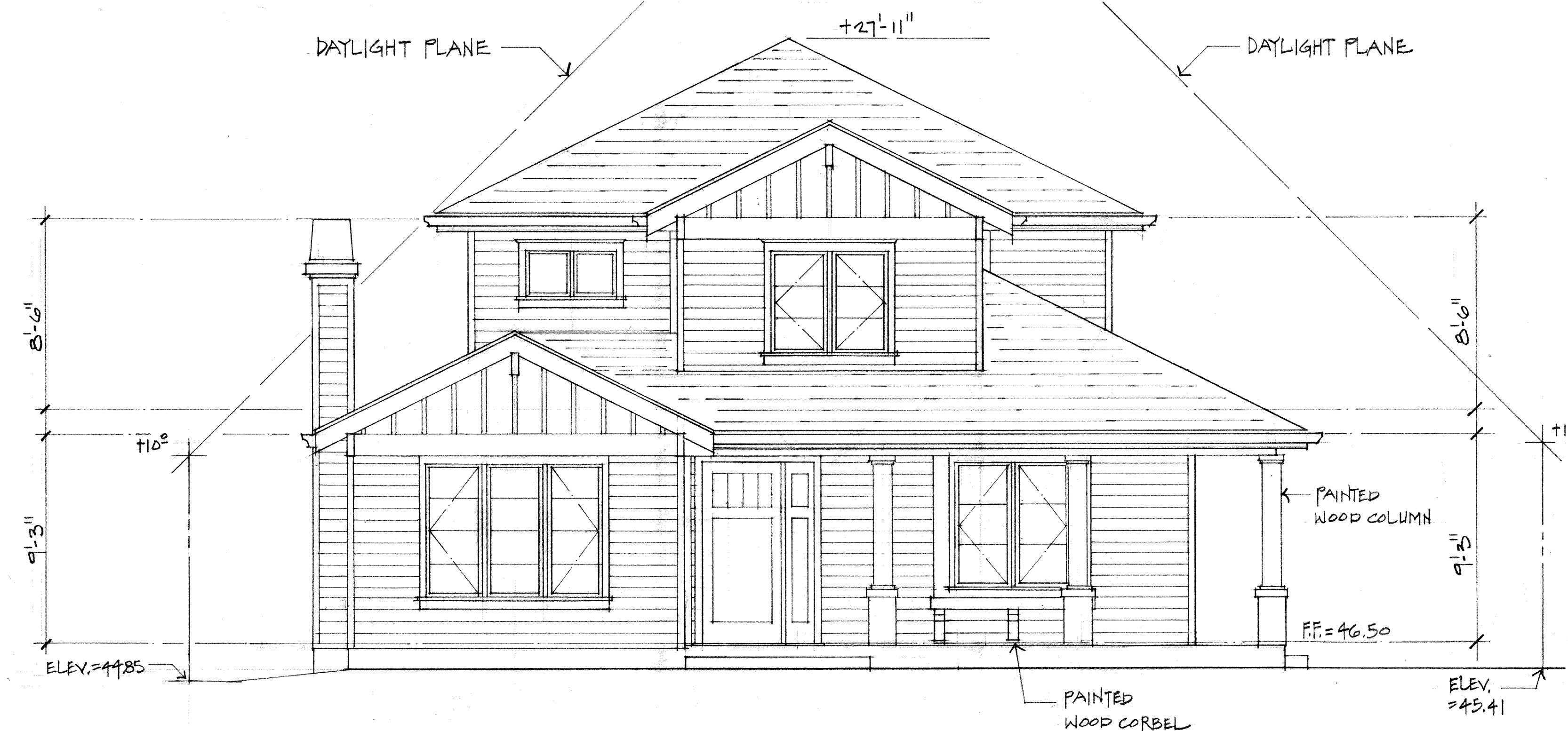
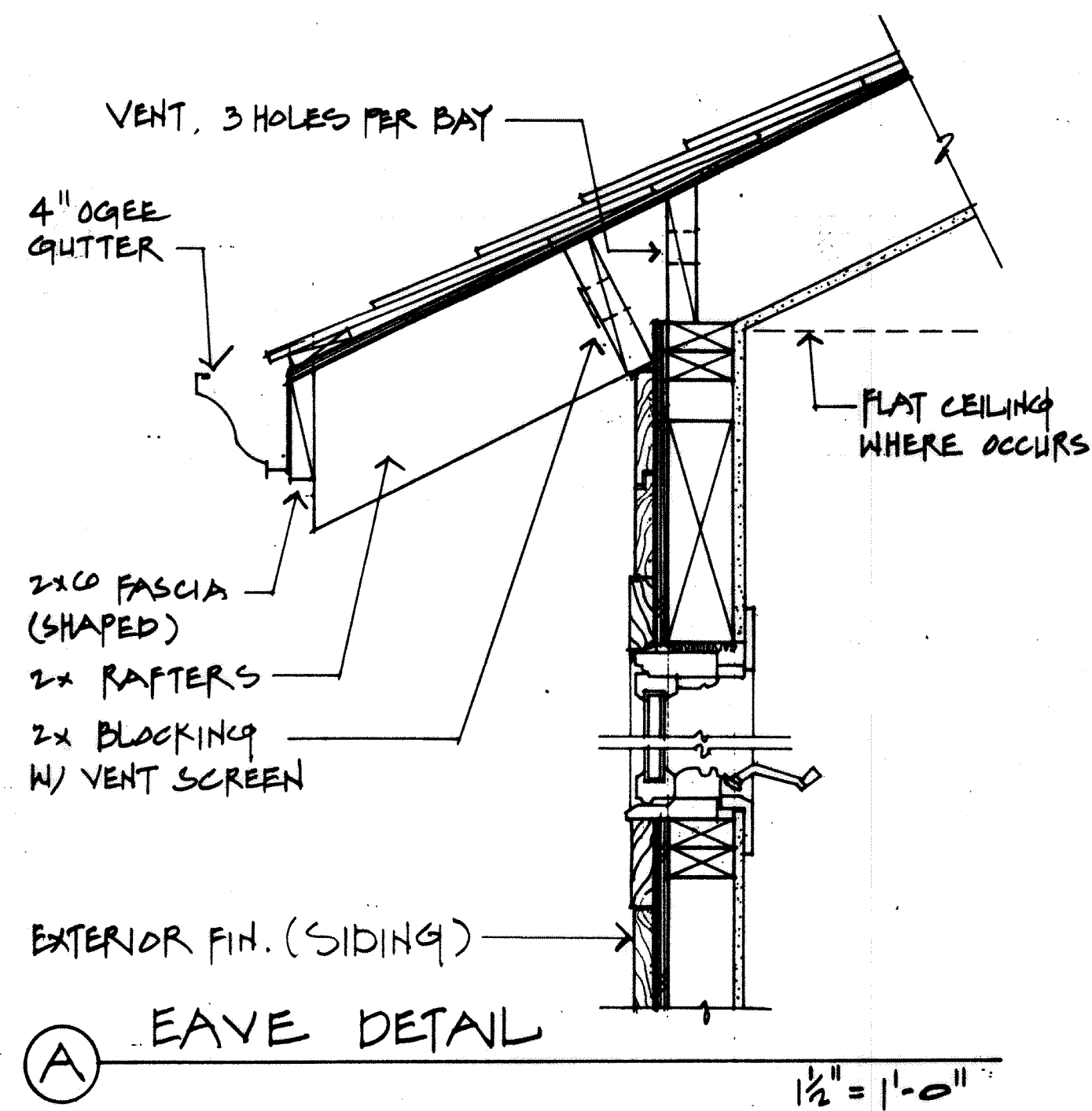
OF SHEETS

**EXTERIOR FINISH SCHEDULE:**

- ROOF: COMPOSITION SHINGLES
- EXTERIOR WALLS: PAINTED HORIZONTAL BOARD SIDING  
BOARD AND BATTEN AT GABLE END
- EXTERIOR COLUMNS: PAINTED WOOD COLUMNS
- EAVES AND TRIM: PAINTED WOOD
- WINDOWS: CLAD WINDOWS W/ CLEAR INSULATED GLASS  
W/ APPLIED MUNTIN BARS ON BOTH SIDES
- DOORS: CLAD DOORS
- GUTTER, SHEET METAL: PAINTED SHEET METAL
- RAILING: PAINTED WOOD
- DRIVEWAY, PATIO: CONCRETE PAVERS

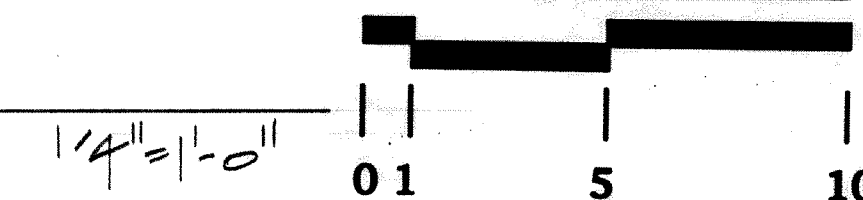


LEFT SIDE ELEVATION



FRONT ELEVATION

SCALE FEET



REVISIONS	BY

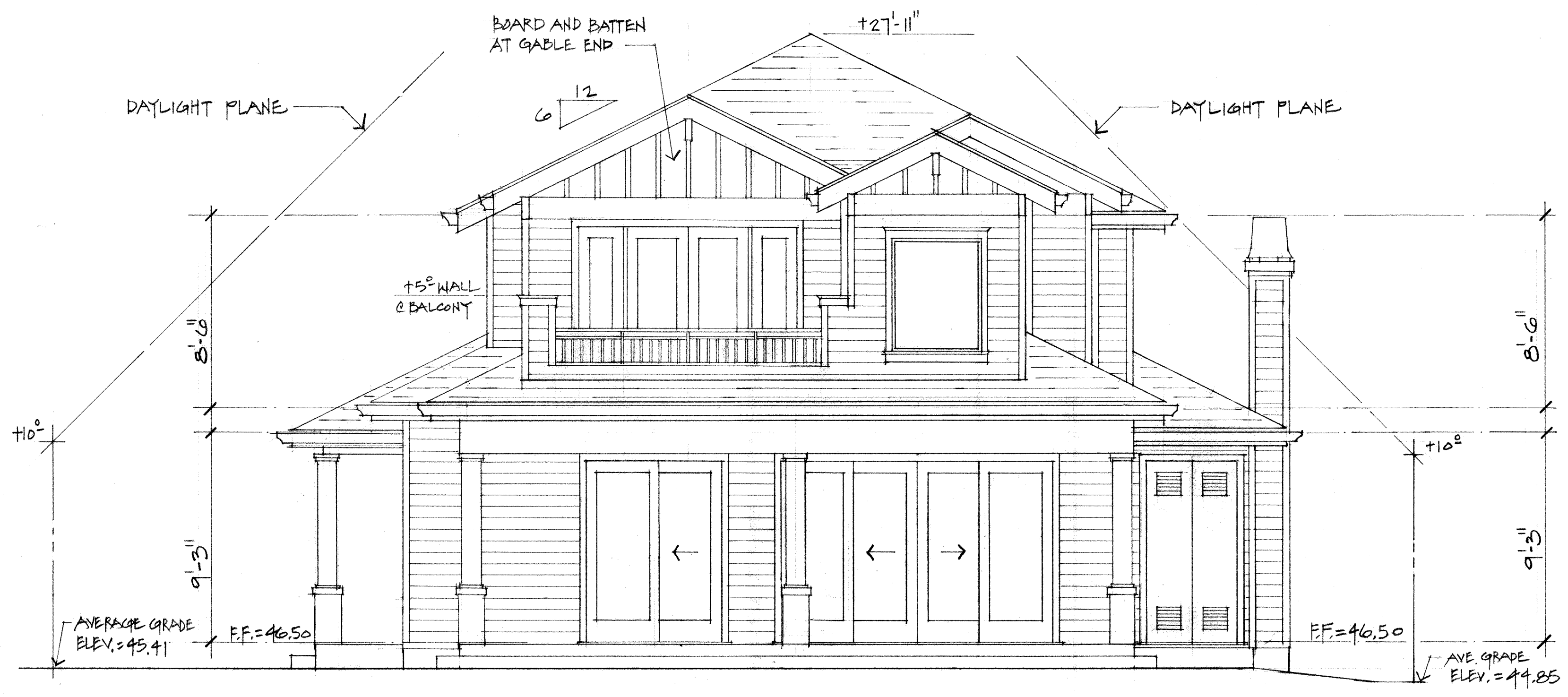
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3880 MAGNOLIA DRIVE  
PALO ALTO, CALIFORNIA

EXTERIOR ELEVATIONS

DRAWN  
CHECKED  
DATE  
6.24.15  
SCALE  
1/4" = 1'-0"  
JOB NO.  
3880 MAGNOLIA  
SHEET  
**A5**  
OF SHEETS

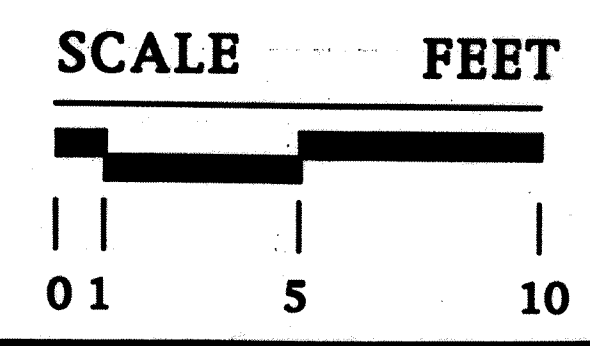
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REAR ELEVATION



RIGHT SIDE ELEVATION



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EXTERIOR ELEVATIONS

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SCALE  
1/4" = 1'-0"  
JOB NO.  
3880 MAGNOLIA  
SHEET

**A6**  
OF SHEETS

# XIONG RESIDENCE

3878\_3880 MAGNOLIA DRIVE  
PALO ALTO, CA  
APN: 137-12-047

## W E C & ASSOCIATES

2625 MIDDLEFIELD RD #658  
PALO ALTO, CA 94306  
TEL: (650) 823-6466  
FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



No.	Description	Date

DATE: FEB 28, 2015  
SCALE: 1/8"=1'-0"  
DRAWN: BG  
JOB: 10078

SHEET TITLE:

# TOPOGRAPHIC SURVEY

SHEET NO.

# C.0

- LEGEND:**
- AC ASPHALT CONCRETE
  - BC BUILDING CORNER
  - BW BACK OF WALK
  - CB CATCH BASIN
  - CMP CORRUGATED METAL PIPE
  - CO CLEAN OUT
  - CRN CROWN
  - EW EDGE OF CONCRETE
  - EM ELECTRIC METER
  - EP EDGE OF PAVEMENT
  - FCOR FENCE CORNER
  - FF FOUND
  - FL FINISHED FLOOR
  - FLW FLOW LINE
  - FR FRONT OF WALK
  - FW FIRE HYDRANT
  - G GROUND
  - GC GROUND CORNER
  - GC GARAGE FACE/FRONT
  - GFC GROUND AT FENCE
  - GM GAS METER
  - HCR HANDICAP RAMP
  - INV INVERT
  - IP IRON PIPE
  - JP JOINT POLE
  - LG LIP OF GUTTER
  - O/H OVERHEAD
  - OC OVERHEAD CORNER
  - PC PERCENT WALL
  - SI STREET LIGHT
  - SSOO SANITARY SEWER CLEANOUT
  - SSMH SANITARY SEWER MANHOLE
  - SOMH STORM DRAIN MANHOLE
  - TBC TOP BACK ROLLED CURB
  - TC TOP OF CURB
  - TBB TOP OF BANK
  - TOE TOP OF BANK
  - TP TOP OF PAVEMENT
  - TR TOP OF ROLLED CURB
  - TW TOP OF WALK
  - U/G UNDERGROUND
  - VCP VITRIFIED CLAY PIPE
  - WV WATER VALVE
  - WM WATER METER BOX
  - WMB WATER METER BOX
  - WTL WATER TELEVISION LINE
  - EL ELECTRICAL LINE
  - GAS GAS LINE
  - CW- SANITARY SEWER LINE
  - E- STORM DRAIN LINE
  - G- TELEPHONE LINE
  - SD- WATER LINE
  - T- WATER LINE

**BASIS OF BEARINGS:**  
THE BEARING, N33°05'00"E, OF THE MONUMENT LINE OF MAGNOLIA DRIVE, AS SHOWN ON THAT CERTAIN MAP FILED IN THE OFFICE OF THE COUNTY CLERK OF SANTA CLARA COUNTY, STATE OF CALIFORNIA, IN BOOK ONE OF MAPS AT PAGE 52 & 53, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

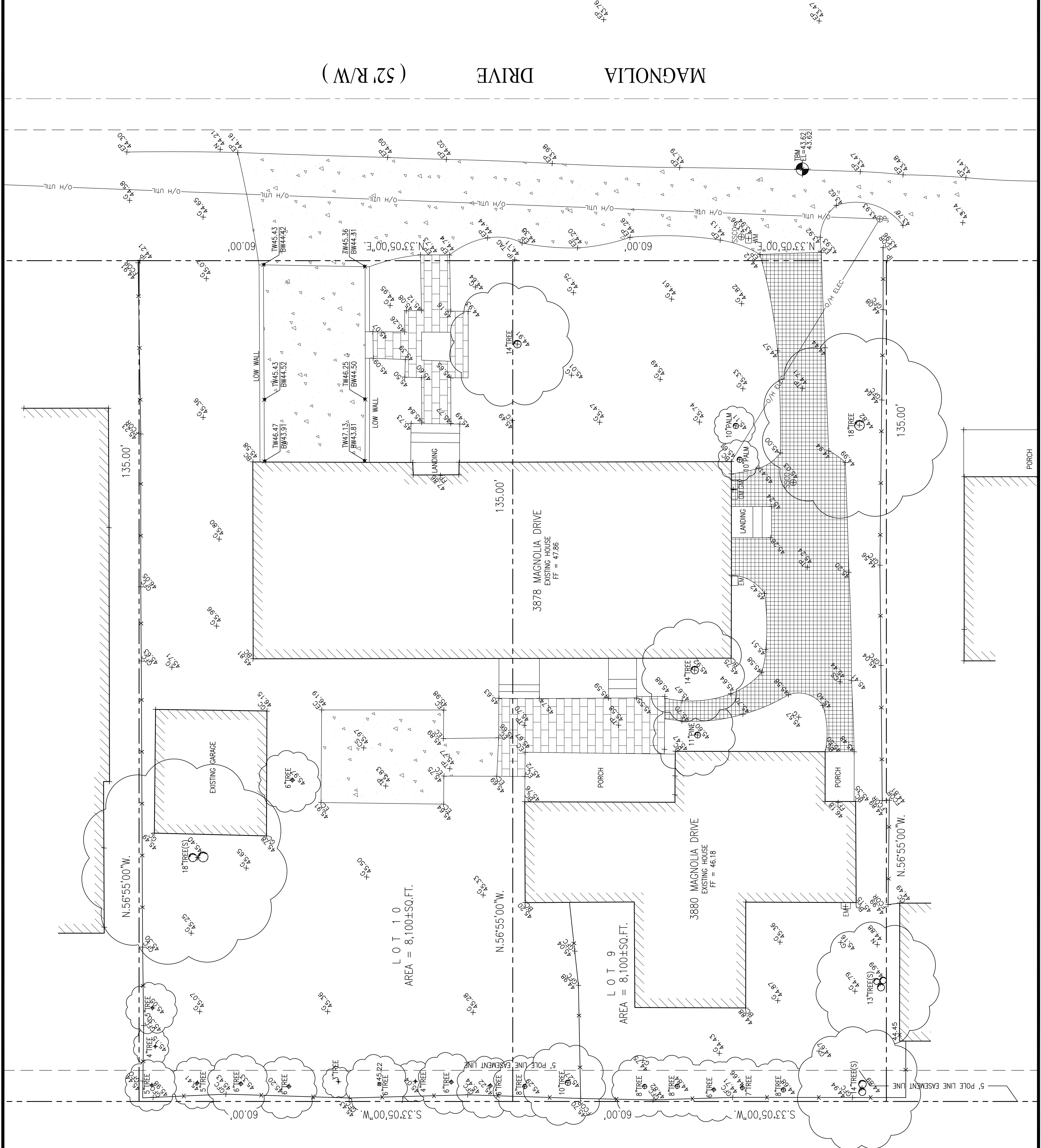
**BASIS OF ELEVATION:**  
BM 2464, MILITARY AND LA SELVA, ON REBAR IN MON WELL, ELEV(NVD89)=37.43, ELEV(NAD83)=40.23, NAVD88 USED IN PLAN.

**UTILITY NOTE:**  
UNDERGROUND UTILITIES - SHOWN PER SURFACE AND RECORD MAPS. MAKE SURE TO CALL 811 BEFORE EXCAVATION. CALL UNDERGROUND SERVICE ALERT (USA) 1-800-442-2444.

**LEGAL DESCRIPTION:**  
LOT 9 AND 10, BLOCK 1, MAP REF. BOOK 1 PAGE 52 AND 53

**FLOOD ZONE INFO:**  
NOT IN FLOOD ZONE

**NOTE:**  
1. MEASUREMENT OF BUILDING LINE IS TO THE FACE OF STUCCO OR SIDING



KEEP 47'  
KEEP 47'