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NOTES

GENERAL

- Project shall comply with the 2013 UBC, Title 24, and 2013 California Building Code (CBC), 2013 California Residential Code (CRC), 2013 California Plumbing Code (CPC), 2013 California Mechanical Code (CMC), 2013 California Electrical Code (CEC), 2013 California Energy Code (CEC), 2013 California Green Building Standards Code (CGBC), and current edition of Santa Clara County Code and City of Palo Alto Municipal Code.
- New buildings, building materials, systems, assemblies and methods of construction located within any Very High Fire Hazard Severity Zones or Wildland-Urban Interface Fire Areas shall be pursuant per (CRC R327) for exterior wildfire exposure requirements.
- At the time of final inspection a copy of the operation & maintenance manual, compact disc or web based reference, shall be placed in the building and/or provided to building occupant per California Green Building Standards (CBGC 4.410).
- All utility electrical, cable, television and phone lines shall be placed underground.
- Prior to building permit issuance, the property shall be certified to be in compliance with the vegetation management requirements prescribed in California Fire Code Section 4906. Refer to landscape plans for additional specifications.

NOTIFICATIONS

Notify the **Soils Engineer** 48 hours before the following times :

- Prior to the time that the site grading work begins.
- After foundation excavations have been made and prior to placing reinforcing steel and formwork
- Prior to all concrete pours.

Notify the **Structural Engineer** 48 hours before the following times :

- Prior to the time that the site grading work begins.
- After foundation excavations have been made and prior to placing reinforcing steel and formwork
- Prior to all concrete pours.
- Prior to placing the first course of concrete masonry units.
- When rough framing is completed and prior to start of finish work.
- Prior to covering any plywood sheathing nailing.
- Prior to covering any shear wall hold-down anchors.

Contact **County Fire Department** for inspection requirements .

TREE PROTECTION AND REPLACEMENT

- All native trees within 25 ft. of proposed ground disturbances shall be temporarily fenced with chain-link or other material satisfactory to P&D throughout all grading and construction activities. The fencing shall be installed 6 ft. outside the dripline of each native tree, and shall be staked every 6 ft., to the maximum extent
- No construction equipment shall be parked, stored, or placed within 6 ft. of any native tree dripline.
- No fill soil, rocks, or construction materials shall be stored or placed within 6 ft. of the dripline of all native trees.
- Any roots encountered that are 1 inch in diameter or greater shall be cleanly cut. This shall be done under the direction of a P&D approved arborist/biologist.
- Any trenching required within the dripline or sensitive root zone of any specimen tree shall be done by hand.
- No permanent irrigation shall occur within the dripline of any existing oak tree.
- Any construction activity required within 3 ft. of a native tree's dripline shall be done with hand tools.
- Any unanticipated damage that occurs to trees or sensitive habitats resulting from construction activities shall be mitigated in a manner approved by P&D. This condition may include but is not limited to posting of a performance security, tree replacement on a 10:1 ratio and hiring of an outside consulting biologist to assess the damage and recommend mitigation. The required mitigation shall be done immediately under the direction of P&D prior to any further work occurring on site. Any performance securities required for installation and maintenance of replacement trees will be released by P&D after its inspection and approval of such installation.
- All trees located within 25 feet of proposed buildings shall be protected from stucco or paint during construction.
- All native trees with grading or construction work occurring within 6 ft. of the dripline shall have trunk protection, constructed of solid material (wood), installed to protect said trunks from damage by machinery/implements.

SPECIAL INSPECTIONS

- All special inspections shall conform to section 1701 of the Uniform Building Code.
- Structural special inspections and observations are required for this project, refer to structural plans for additional specifications.
- Required for all concrete with a design ultimate 28 day compressive strength in excess of 2500 psi.
- Required for all installation of epoxied anchors.
- During excavation process, a thorough search shall be made under the direction of soils engineer, to locate and remove any man-made buried structures and utilities
- Inspection of the finished building pad shall be conducted by the soils engineer.
- Soils engineer to review foundation and grading plans prior to submittal for building permit.
- A representative of soils engineer shall be requested to inspect all excavations prior to backfilling, steel reinforcement and concrete or soil placement.

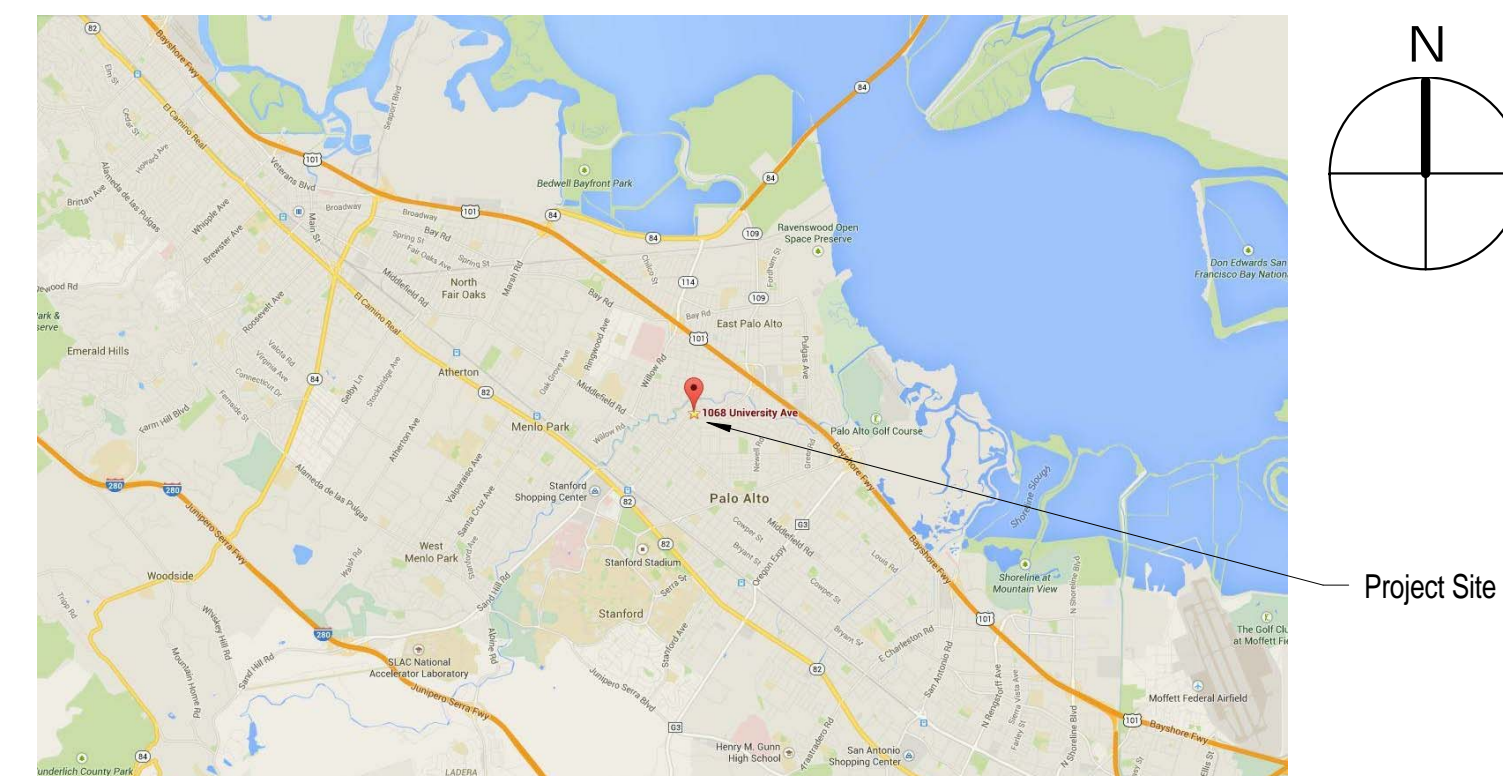
SEPARATE PERMITS & DEFERRED SUBMITTALS

***All separate permits & deferred submittals per contractor U.N.O., refer to consultant listings for contact.**

- Provide grading under separate permit.
- Provide septic system under separate permit.
- Provide separate permit for pool, spa & mechanical equipment.
- Provide fire sprinklers under separate permit.
- Provide alarm under separate permit.
- Provide separate permit for all site walls above 6'.
- Provide truss plans & calculations under deferred submittal.



VICINITY MAP



PROJECT DATA

OWNER	PIRTH BANERJEE
EXISTING STRUCTURES	SINGLE FAMILY DWELLING, GARAGE/ACCESSORY, POOL
SCOPE OF WORK	-

PLANNING DATA

APN	003-05-027
ZONE	R-1 (10000)
LOT SIZE	16,229 SF
ALLOWABLE F.A.R.	5,619 SF
ALLOWABLE SITE COVERAGE	5,680 SF
REQUIRED SETBACK	Front: 40' Side: 8' Rear: 20' St.Side: 16'
EASEMENTS	NO
UNDERLYING LOT LINES	NO
HISTORIC STATUS	POTENTIALLY ELIGIBLE CRHR 1998
COTTAGE	YES, LOT MEETS MIN. SIZE
HIGH FIRE HAZARD SEVERITY ZONE	-
ALLOWABLE BUILDING HEIGHT	30'
GRADING	-
	Cut: - CY
	Fill: - CY

CONSULTANTS

SURVEY	-
GEOTECHNICAL	-
ENGINEER	-

SHEET INDEX

ARCHITECTURAL

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BUILDING DATA

OCCUPANCY GROUP	R-1 / U-1 (GARAGE / ACC.)
TYPE OF CONSTRUCTION	TYPE V-N
SPRINKLERS	-
EXISTING FLOOR AREAS (GROSS)	
DWELLING FIRST FLOOR :	2,289 SF
DWELLING SECOND FLOOR :	1,960 SF
GARAGE:	547 SF
TOTAL SQUARE FEET:	4,796 SF
PROPOSED FLOOR AREAS (GROSS)	
DWELLING FIRST FLOOR :	2,620 SF
DWELLING SECOND FLOOR :	1,822 SF
GARAGE:	547 SF
TOTAL SQUARE FEET:	4,989 SF
GROSS SQUARE FOOTAGE CHANGE (+/-):	+ 193 SF

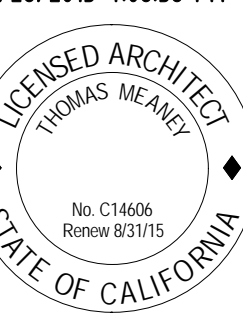
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TITLE SHEET

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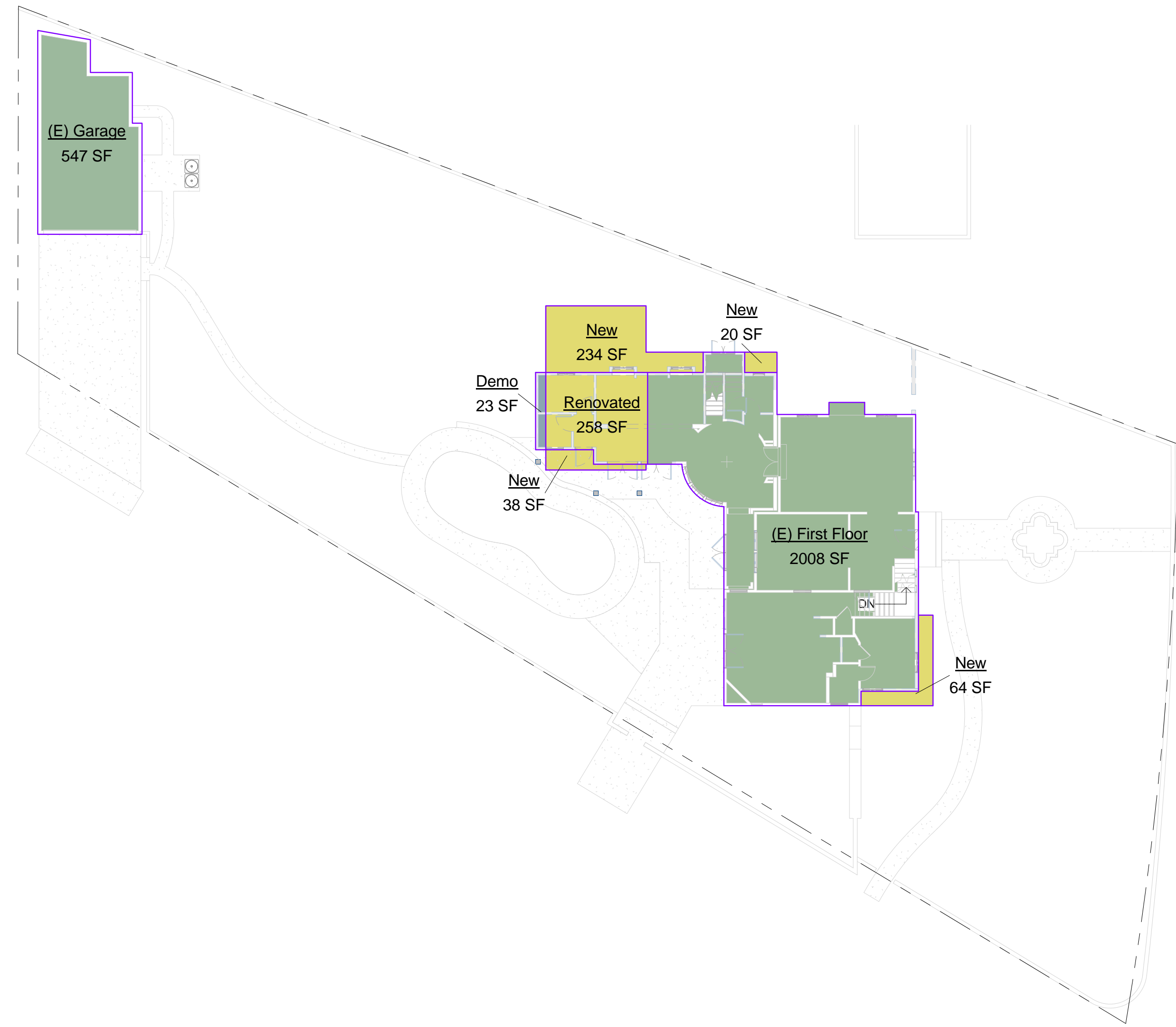


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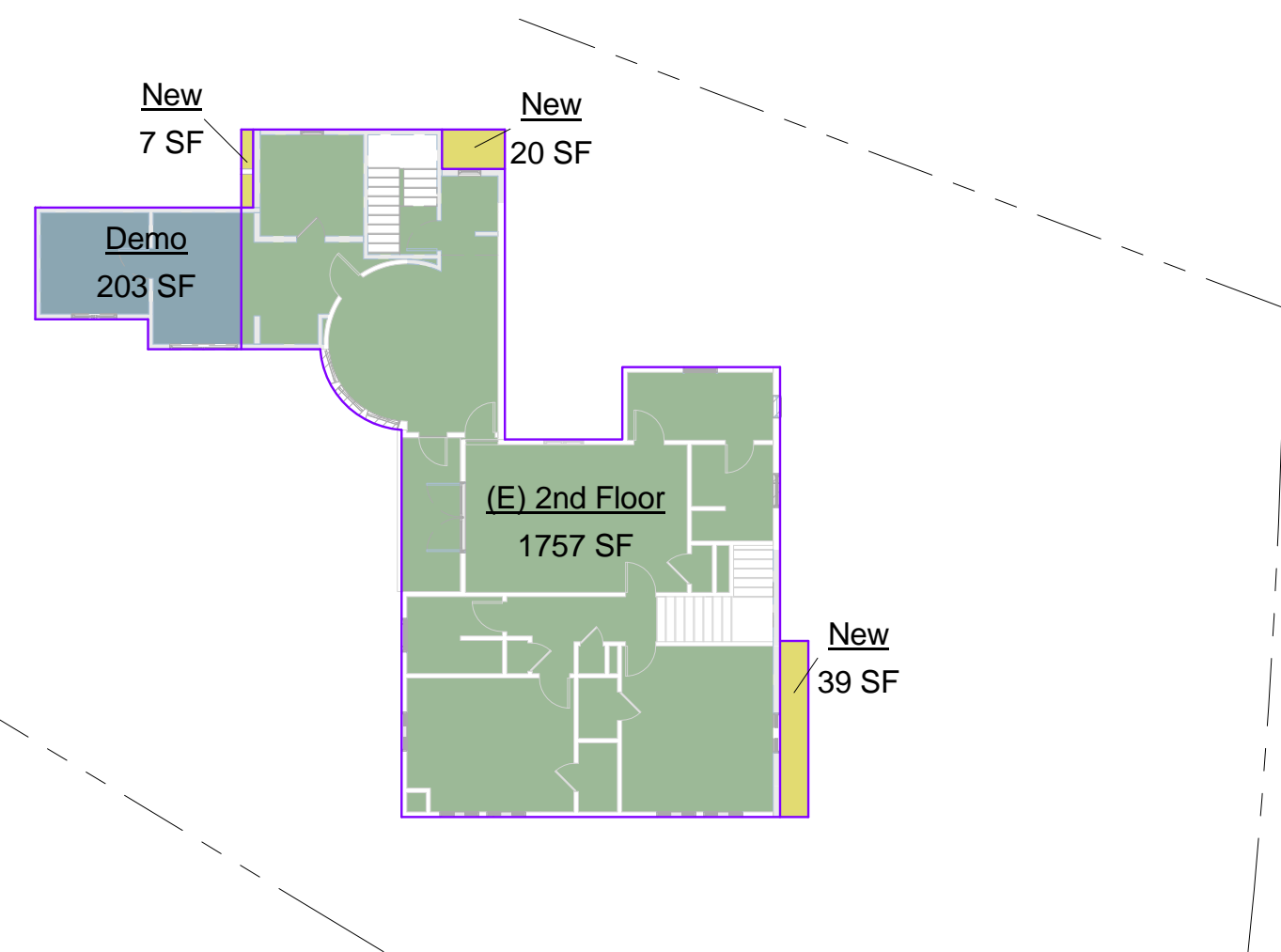
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1st Floor Areas (36.0 FF)
SCALE 1/16" = 1'-0" **1**



2nd Floor Areas
SCALE 1/16" = 1'-0" **2**

Existing and Demo Areas (Gross)	
Level 0	
547 SF	(E) Garage
547 SF	
Basement	
396 SF	Basement
396 SF	
1st Floor (36.0 FF)	
2008 SF	(E) First Floor
258 SF	Renovated
23 SF	Demo
2289 SF	
2nd Floor	
1757 SF	(E) 2nd Floor
203 SF	Demo
1960 SF	
5192 SF : TOTAL (E) SQUARE FEET	

Existing and New Areas (Gross)	
Level 0	
547 SF	(E) Garage
547 SF	
Basement	
396 SF	Basement
396 SF	
1st Floor (36.0 FF)	
2008 SF	(E) First Floor
258 SF	Renovated
234 SF	New
20 SF	New
38 SF	New
64 SF	New
2620 SF	
2nd Floor	
1757 SF	(E) 2nd Floor
20 SF	New
7 SF	New
39 SF	New
1822 SF	
5386 SF : TOTAL (N) SQUARE FEET	

SQUARE FOOT CHANGE: +193 SF

SQUARE FOOT NOTES:

- All square footage calculated to exterior wall surfaces per code sections 18.12.040 (a) Table 2, 18.12.040 (b) Table 3, and 18.040.030 (a) (86).
- "Renovated" square footage is area that will be demolished and replaced with new.

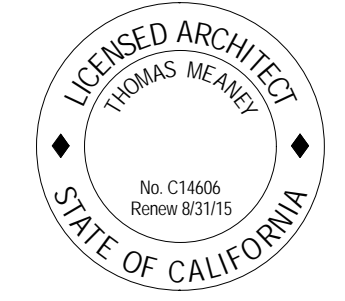
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AREA ANALYSIS

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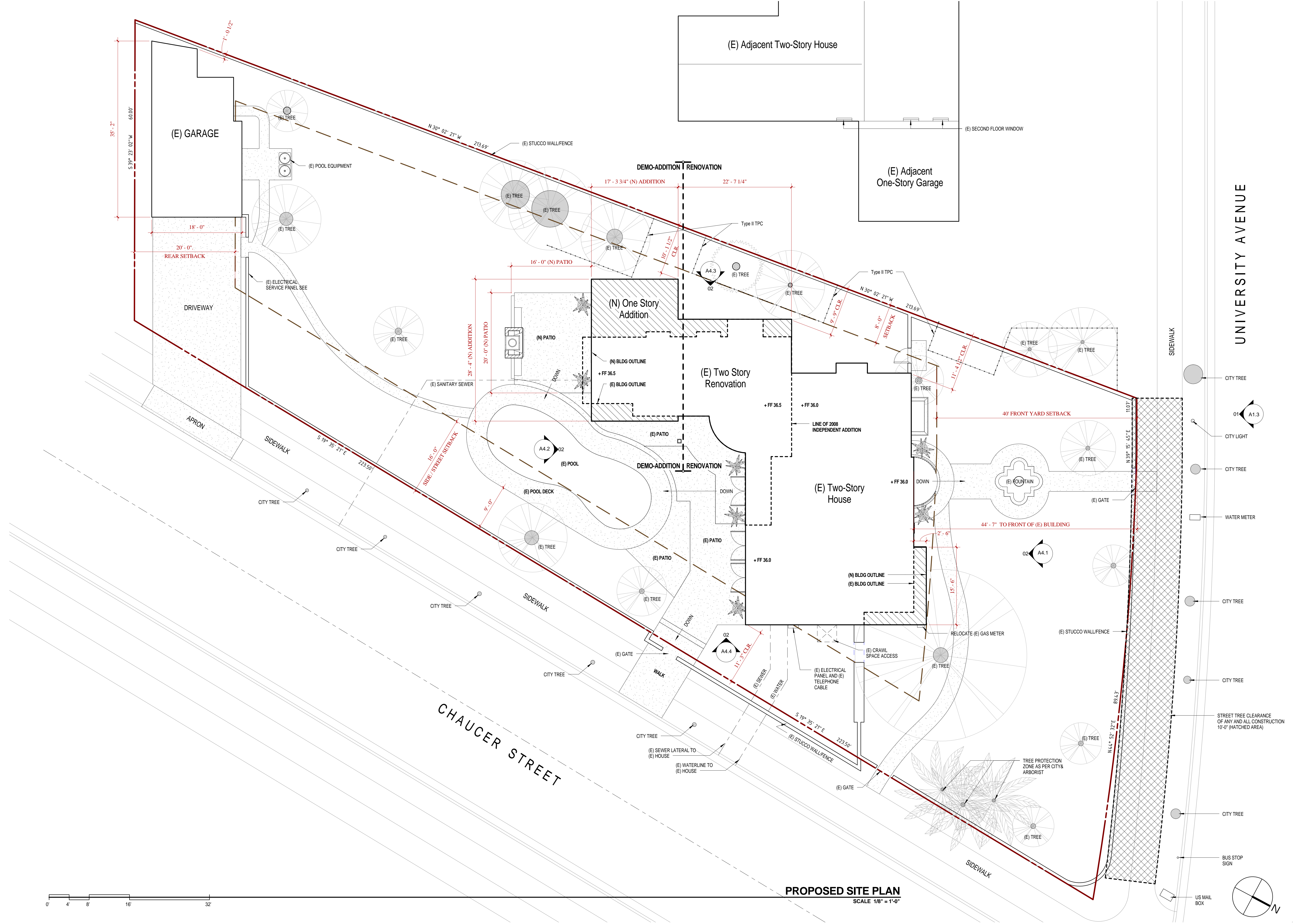


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PROPOSED SITE PLAN
SCALE 1/8" = 1'-0"

UNIVERSITY AVENUE

CHAUCER STREET



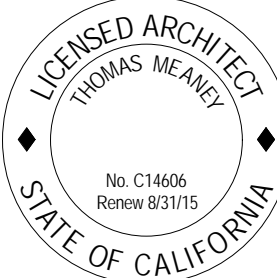
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PROPOSED SITE PLAN

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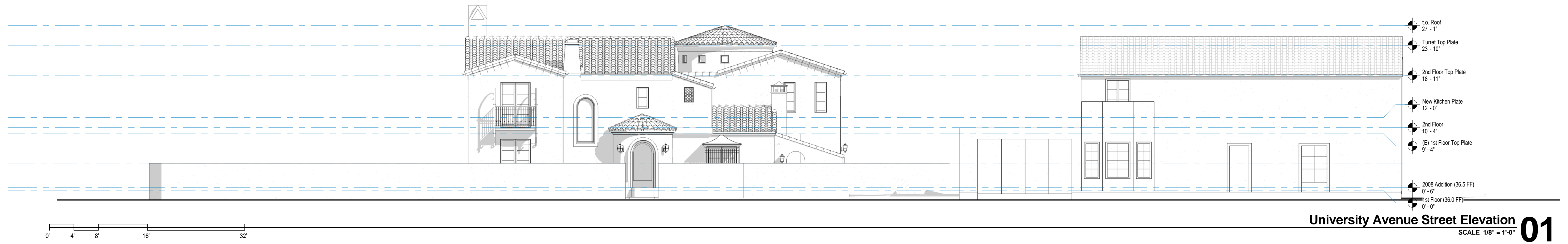


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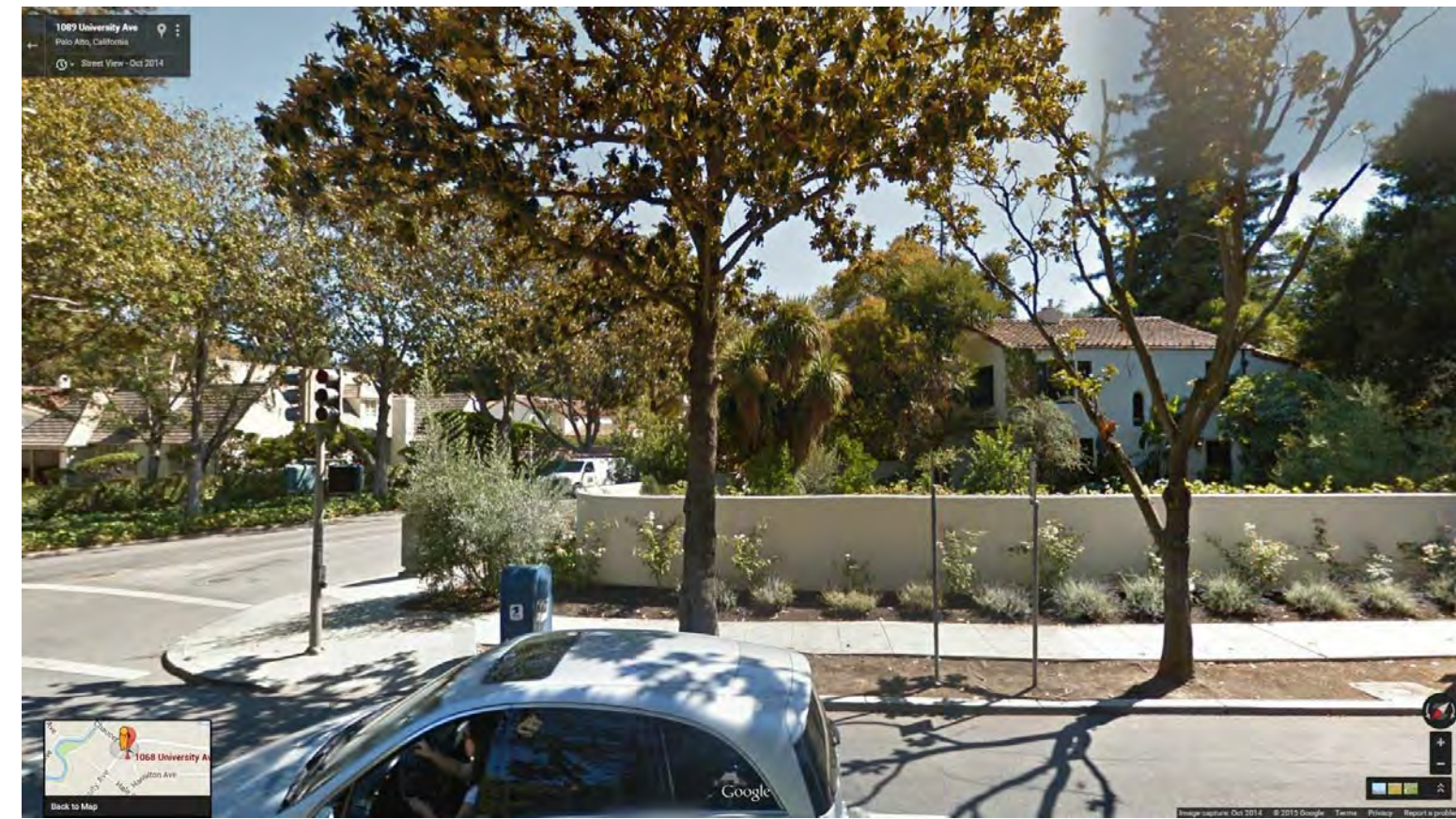
University Avenue Street Elevation 01
SCALE 1/8" = 1'-0"



Google Street View - University Avenue
SCALE 12" = 1'-0"



Chaucer at Corner View 4
SCALE 12" = 1'-0"



University Ave. View 3
SCALE 12" = 1'-0"



University Ave. View 2
SCALE 12" = 1'-0"



Chaucer Street View 7
SCALE 12" = 1'-0"



Chaucer Street View 6
SCALE 12" = 1'-0"



Chaucer Street View 5
SCALE 12" = 1'-0"

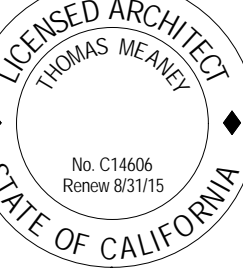
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STREET ELEVATIONS

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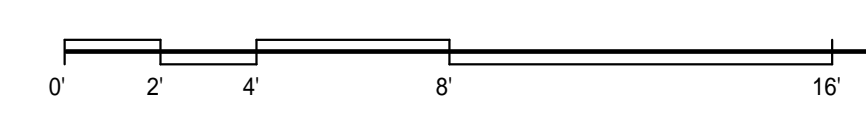
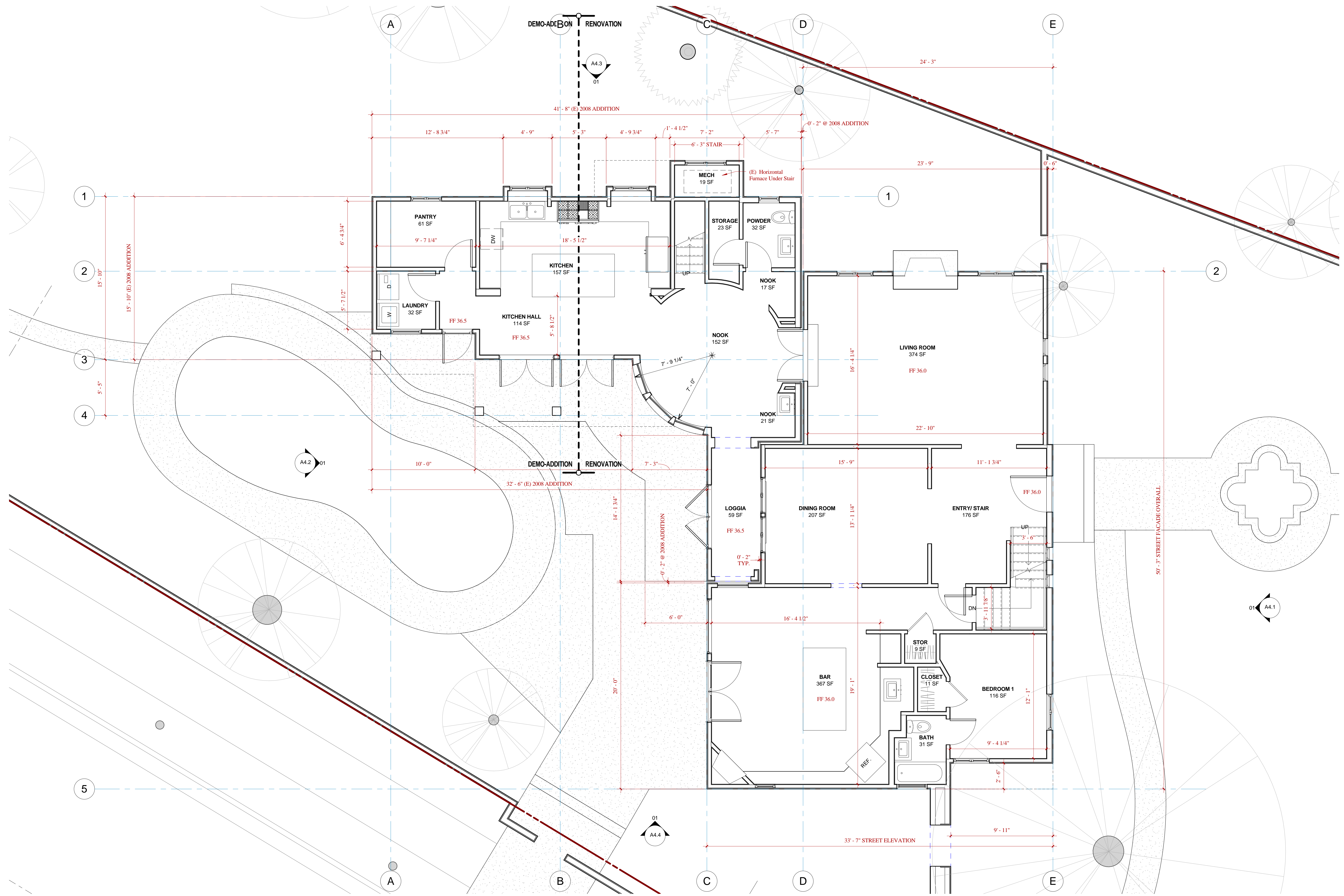


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A1.3

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Existing First Floor L1 (36.0 FF)
SCALE 1/4" = 1'-0"

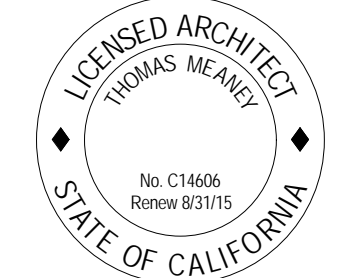
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EXISTING FIRST FLOOR

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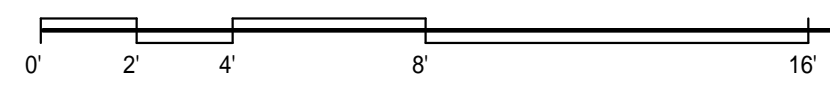
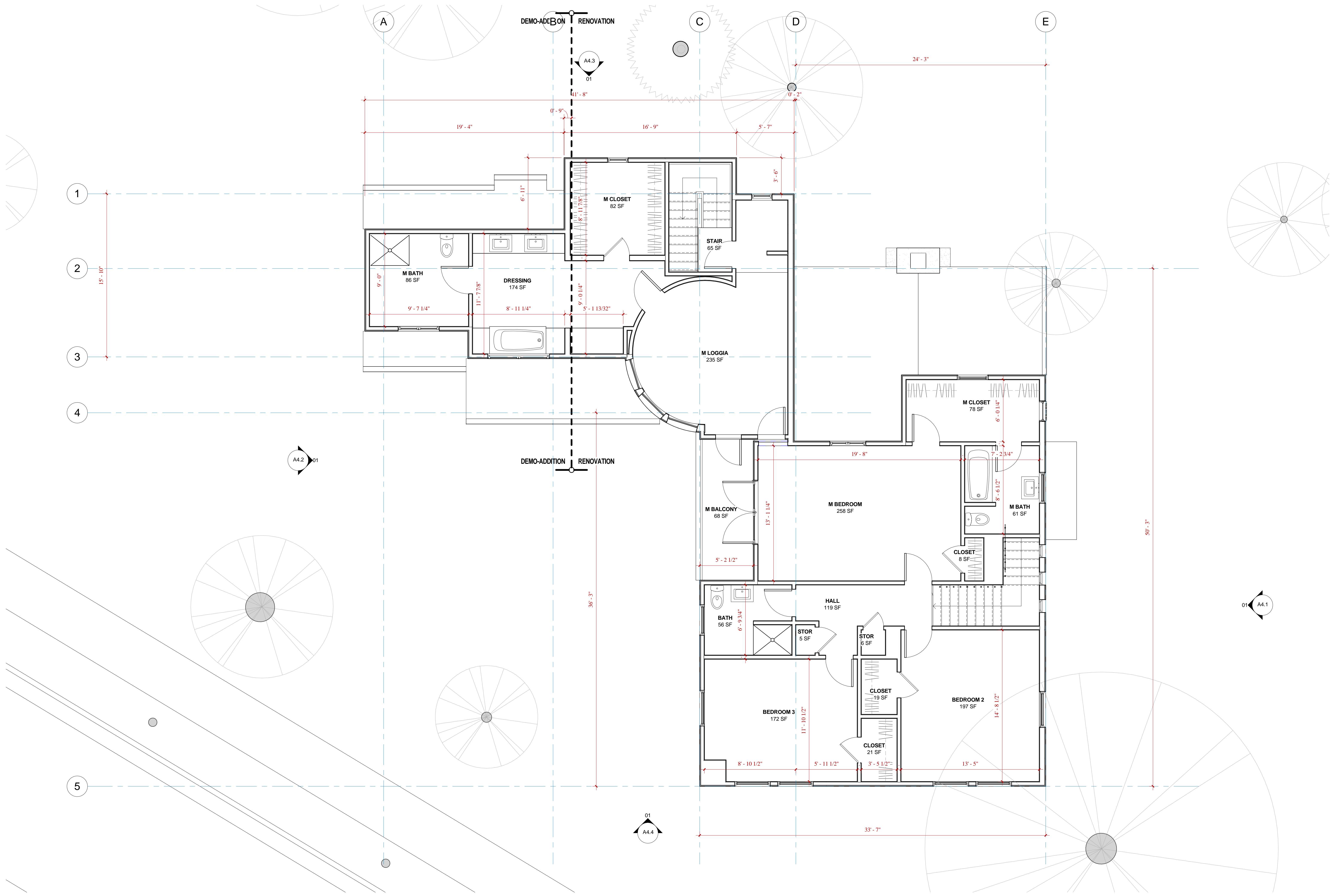


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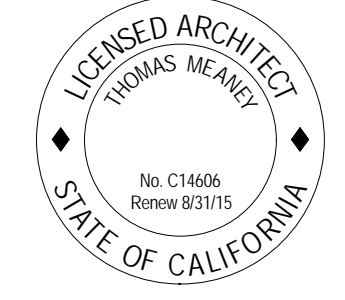
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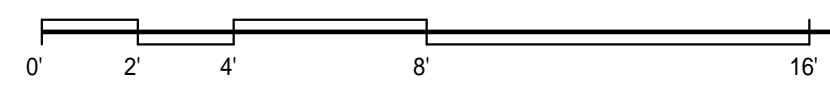
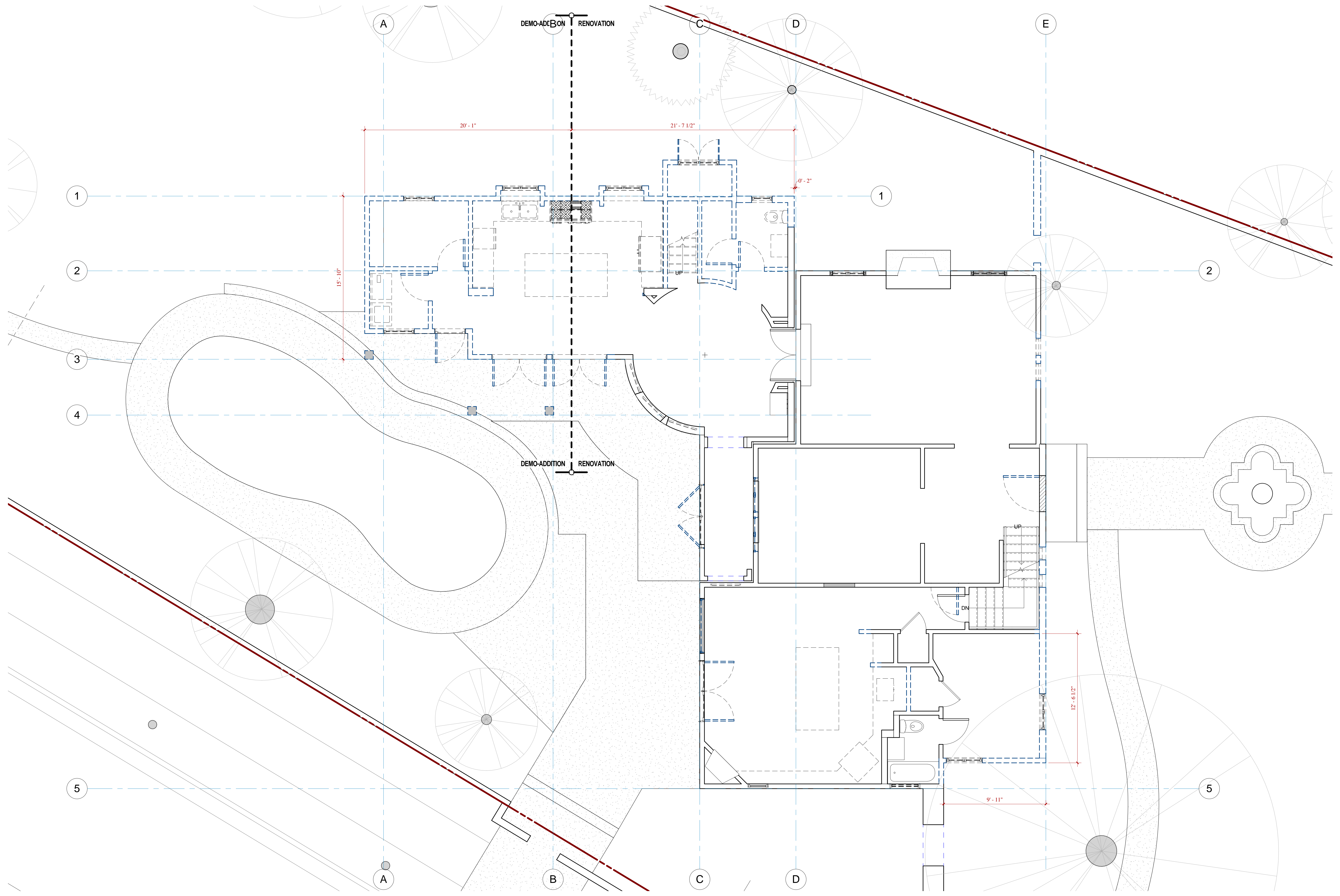
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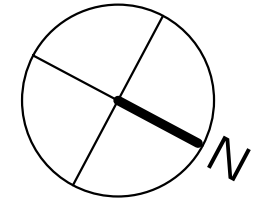
Existing Second Floor
SCALE 1/4" = 1'-0"



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DEMO FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"



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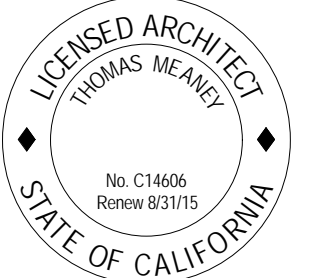
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DEMOLITION
FIRST FLOOR

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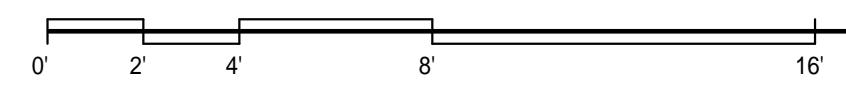
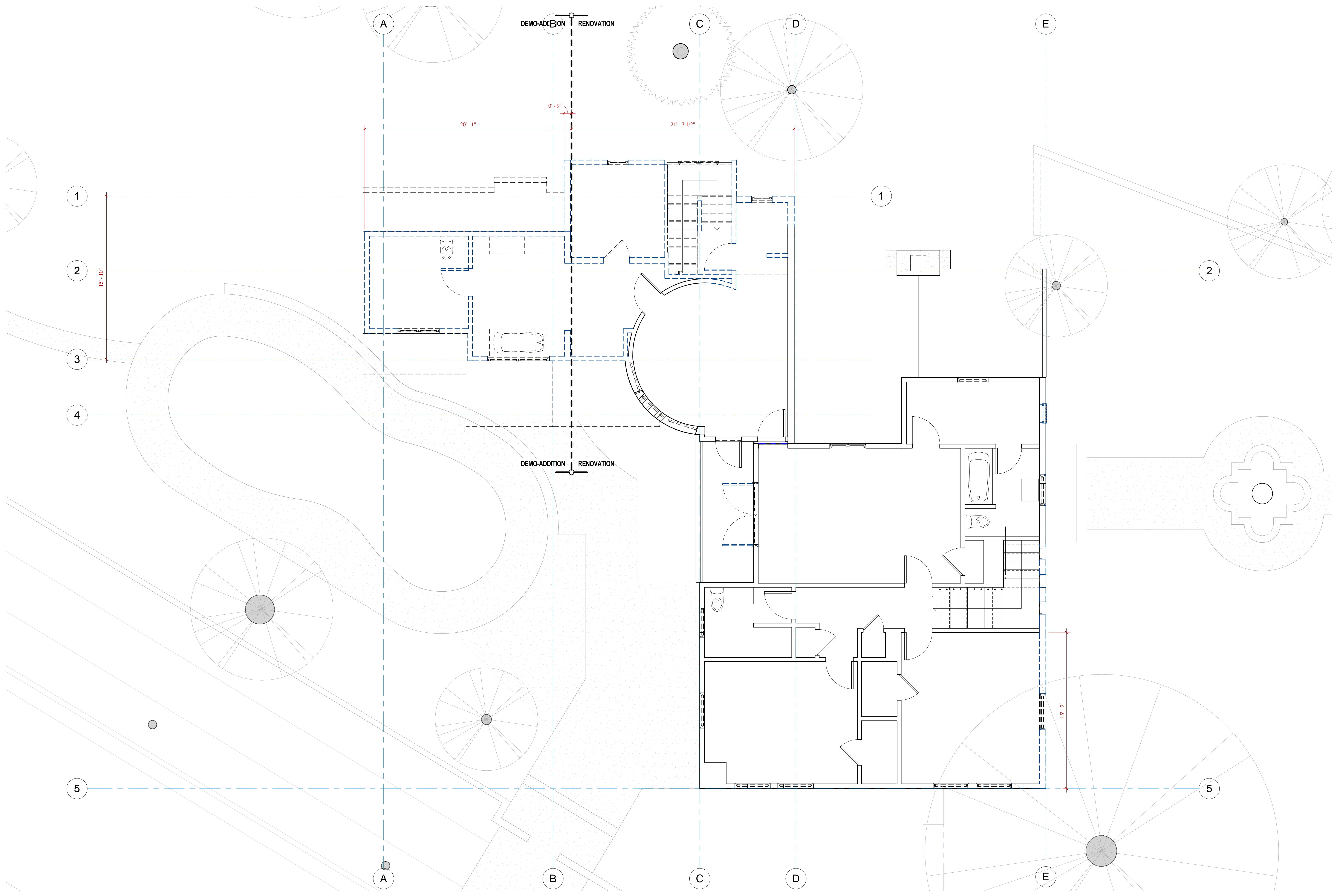


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A2.3

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Demo Second Floor Plan
SCALE 1/4" = 1'-0"

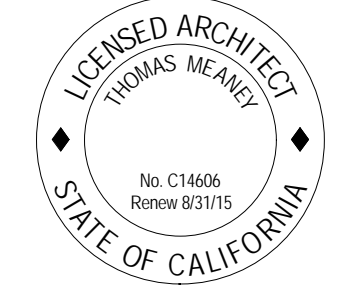
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DEMOLITION
SECOND FLOOR

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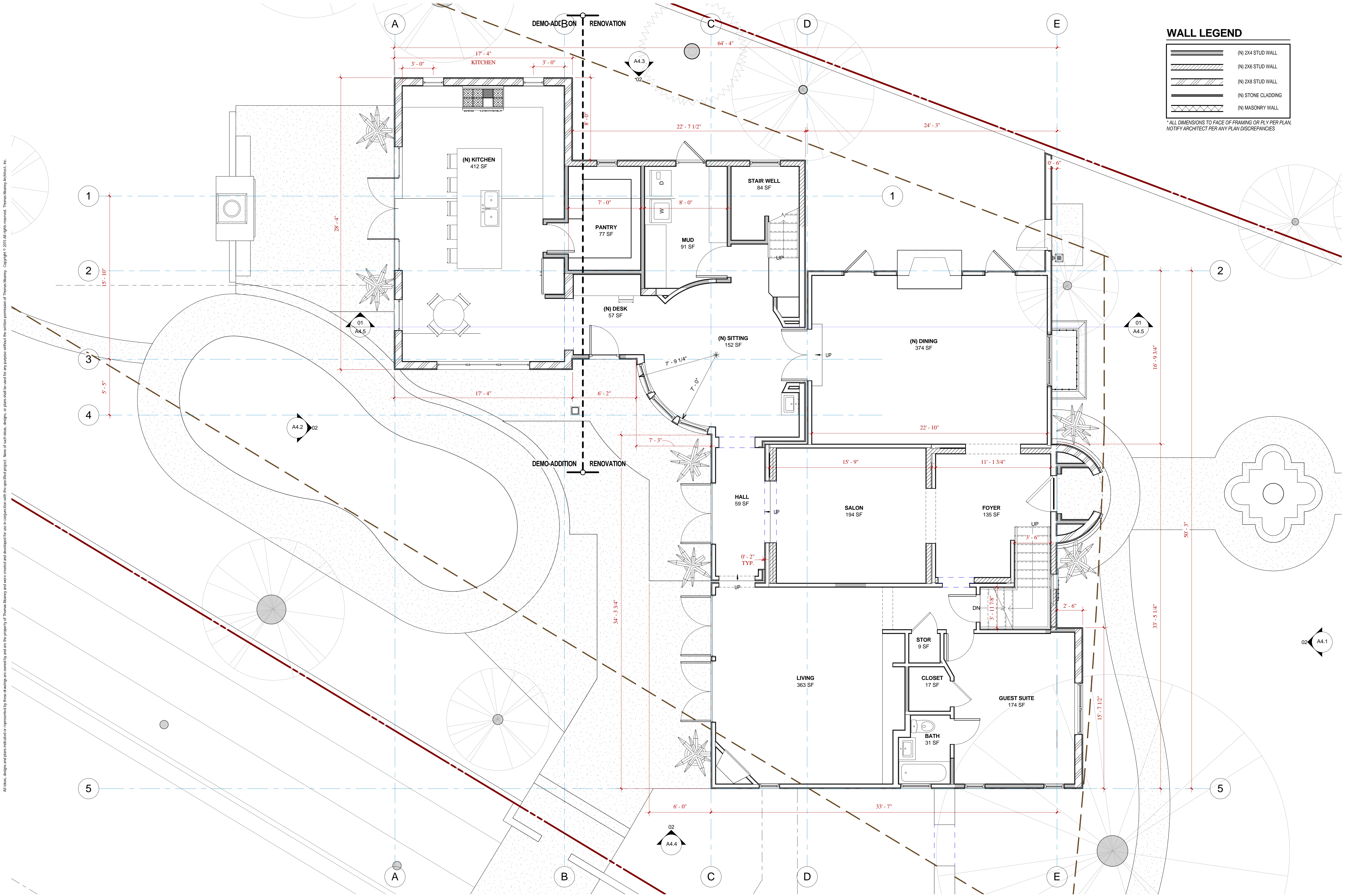


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WALL LEGEND

	(N) 2X4 STUD WALL
	(N) 2X6 STUD WALL
	(N) 2X8 STUD WALL
	(N) STONE CLADDING
	(N) MASONRY WALL

ALL DIMENSIONS TO FACE OF FRAMING OR PLY PER PLAN. NOTIFY ARCHITECT PER ANY PLAN DISCREPANCIES

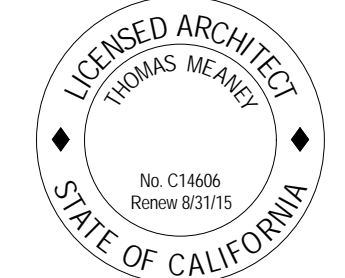
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PROPOSED
 FIRST FLOOR

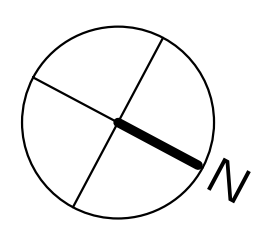
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Proposed First Floor L1 (36.0 FF)
 SCALE 1/4" = 1'-0"



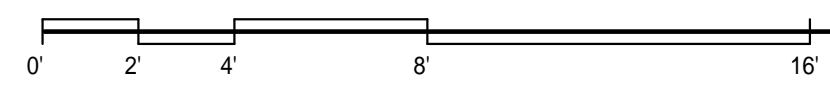
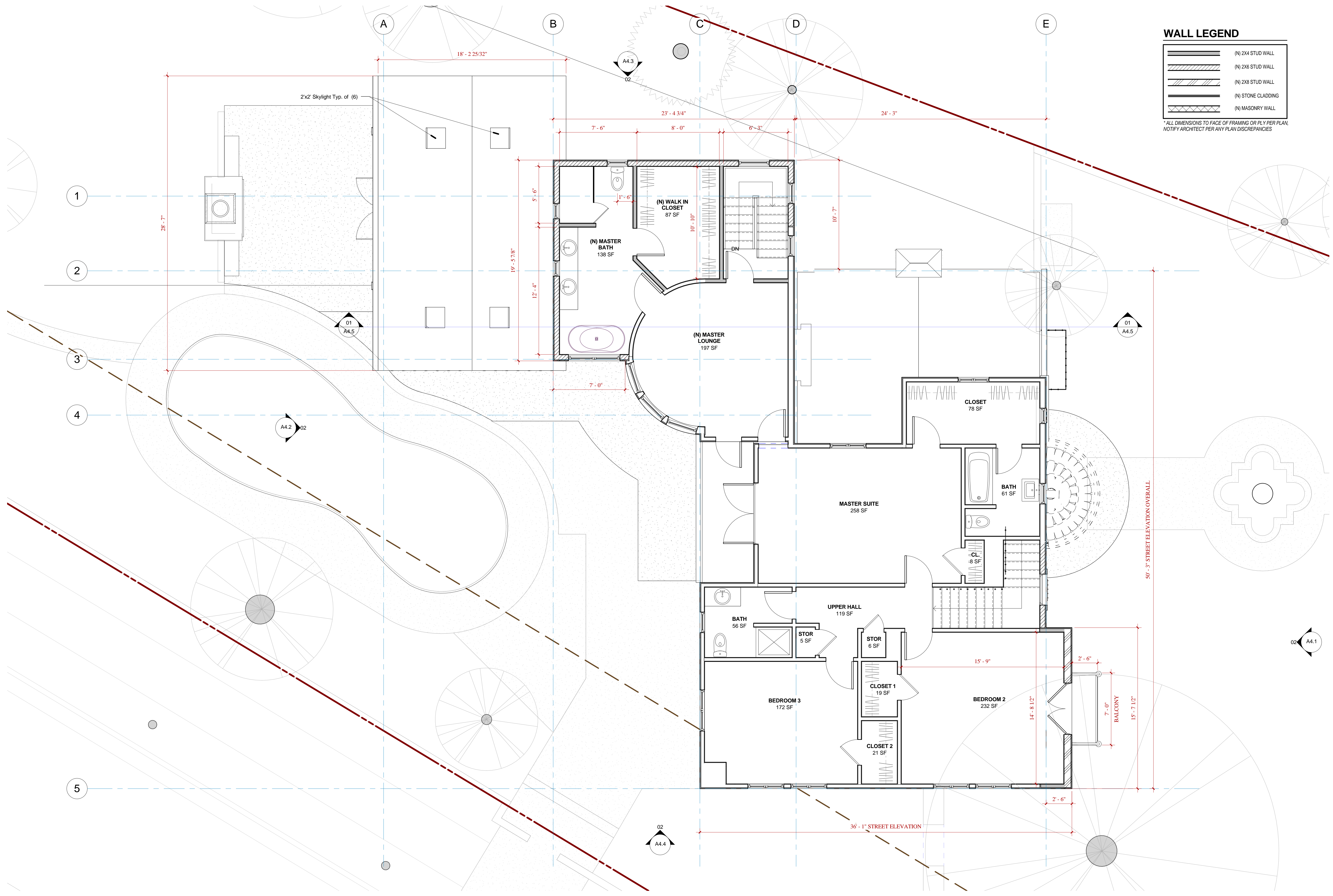
A2.5

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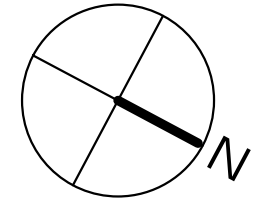
WALL LEGEND

	(N) 2x4 STUD WALL
	(N) 2x6 STUD WALL
	(N) 2x8 STUD WALL
	(N) STONE CLADDING
	(N) MASONRY WALL

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Proposed Second Floor
SCALE 1/4" = 1'-0"



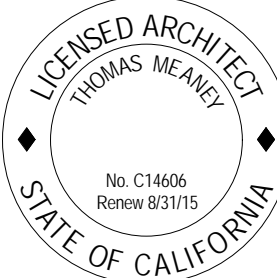
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PROPOSED SECOND FLOOR

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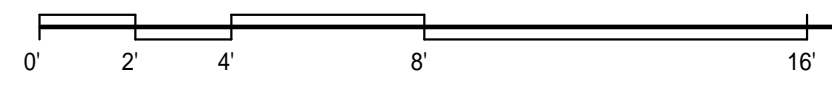
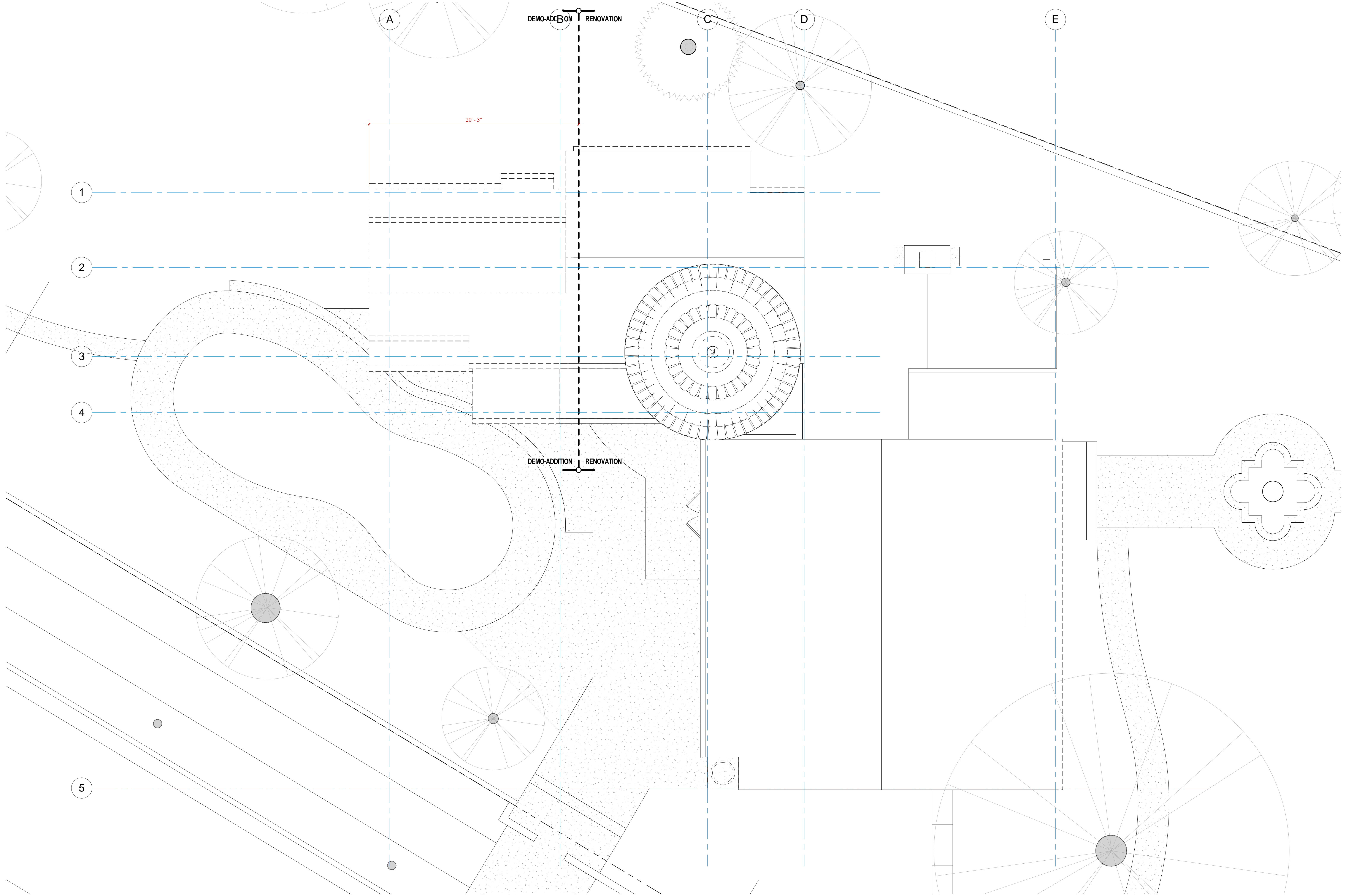


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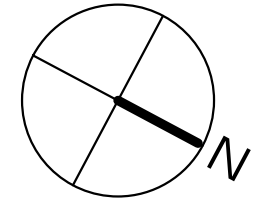
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A2.6

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Demo Roof Plan
SCALE 1/4" = 1'-0"



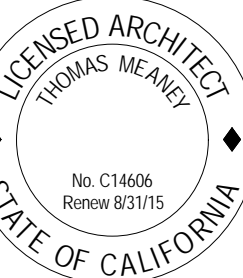
T M

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Residential Remodel
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ROOF EXISTING & DEMOLITION

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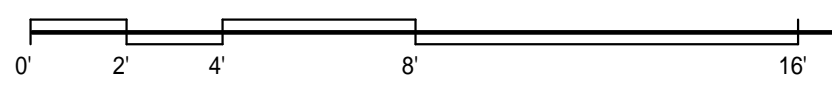
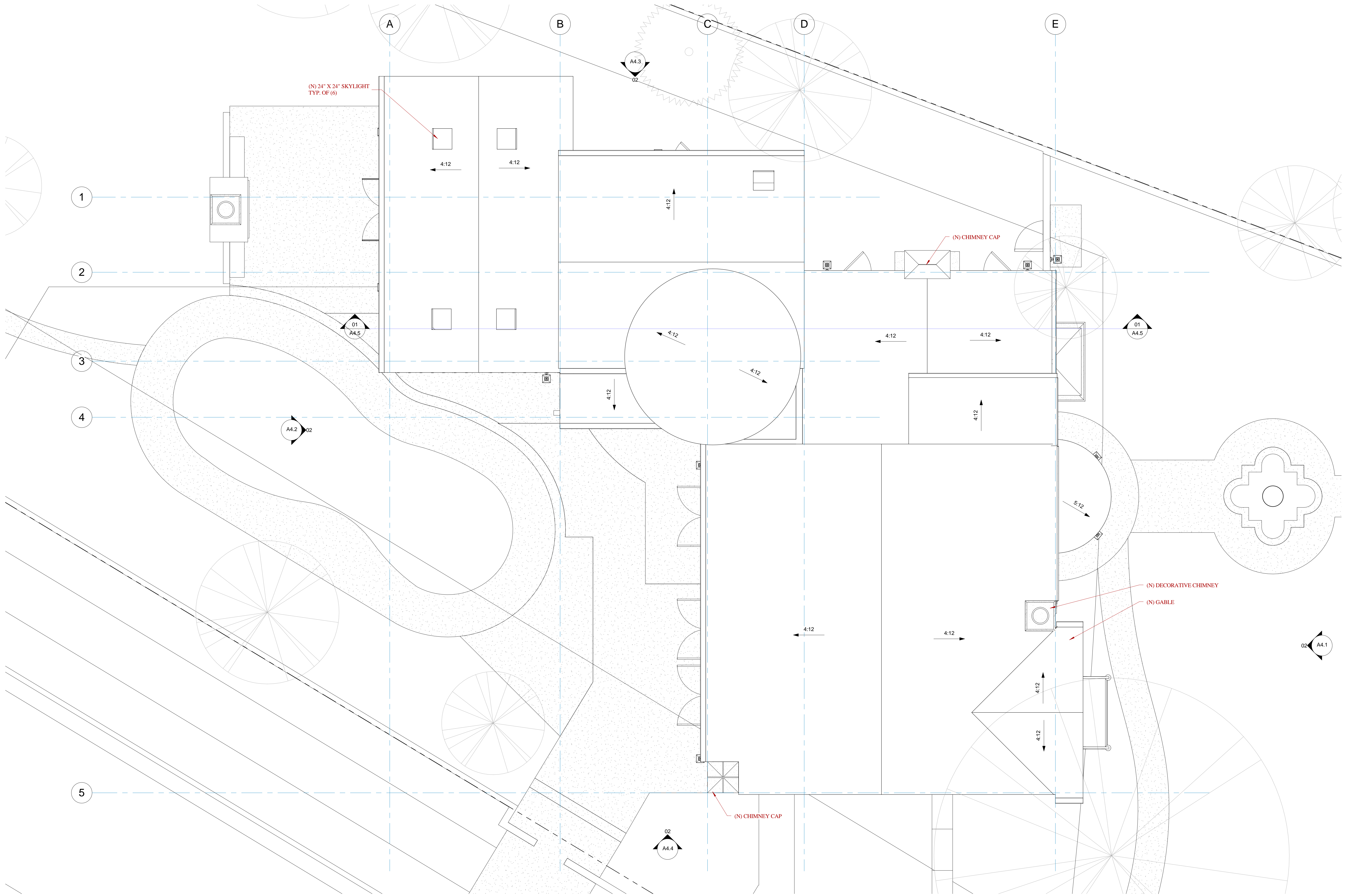


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15-PLN-00215

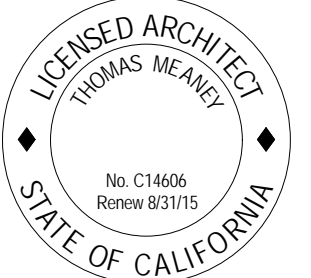
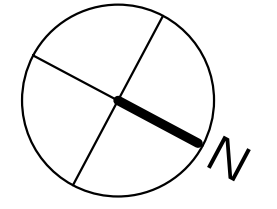
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Sheet: ... Checker

A3.1

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Proposed Roof Plan
SCALE 1/4" = 1'-0"



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Rendered Front Elevation
SCALE: NTS

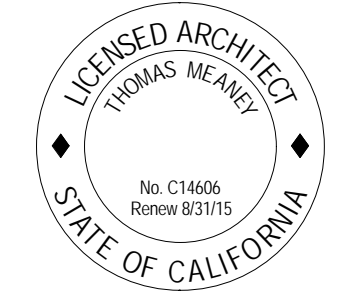
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COLOR
RENDERING

7/28/2015 4:10:05 PM

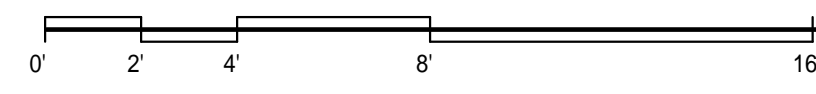
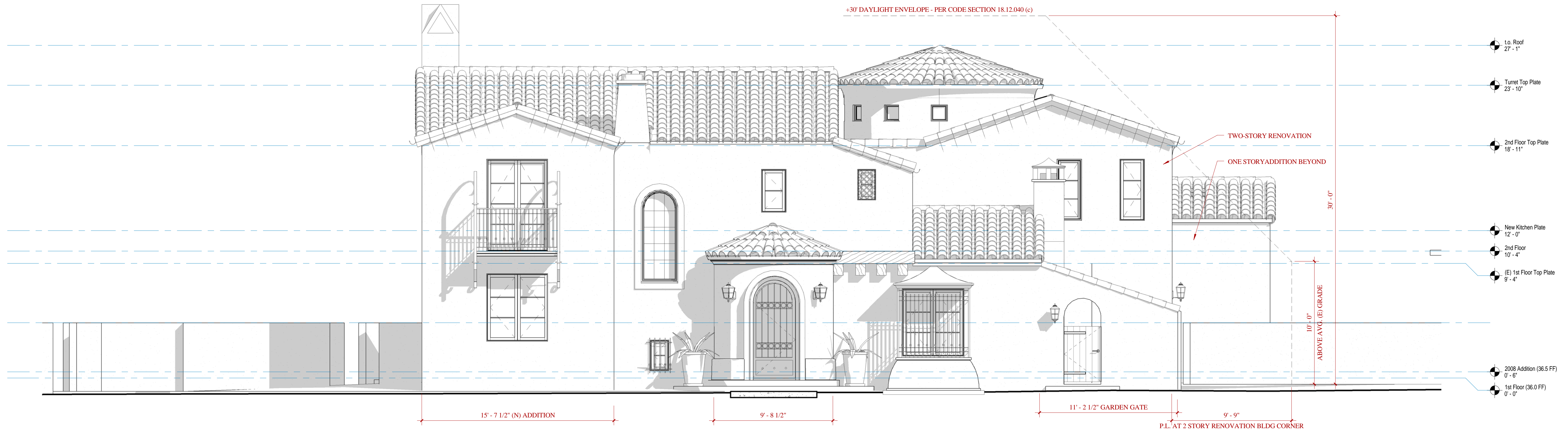


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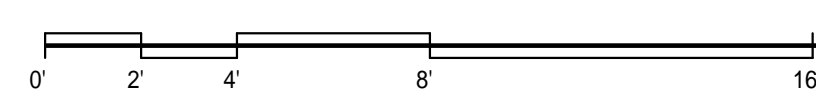
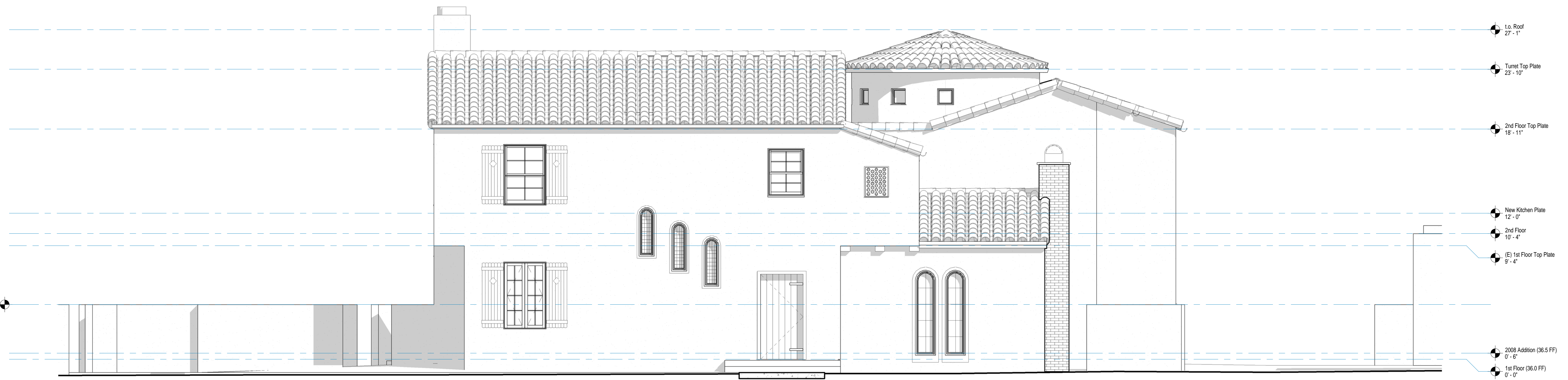
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A4.0

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Proposed North (Front) Elevation 02
SCALE 1/4" = 1'-0"



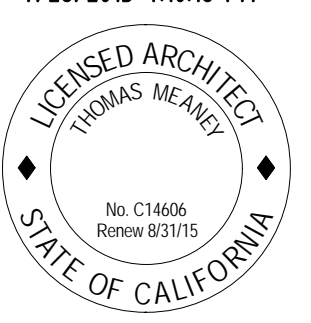
Existing North (Front) Elevation 01
SCALE 1/4" = 1'-0"

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FRONT ELEVATIONS (NORTH)
7/28/2015 4:10:18 PM

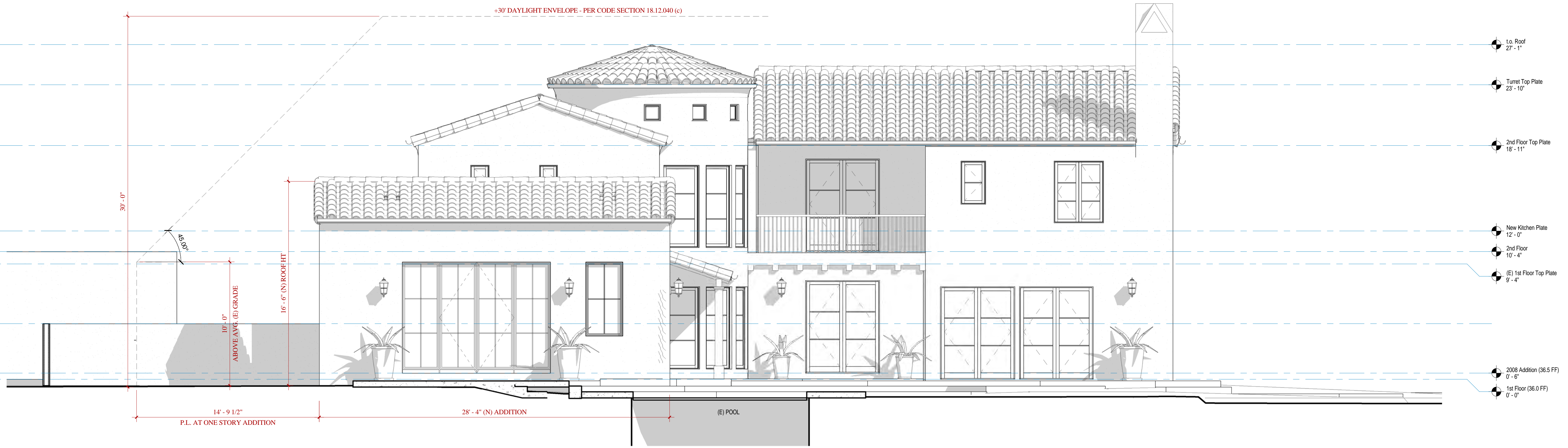


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Sheet: Checker

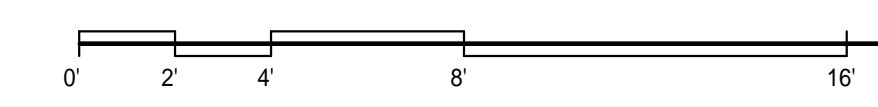
A4.1

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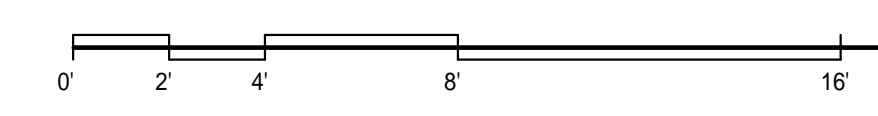
Proposed South (Rear) Elevation 02
SCALE 1/4" = 1'-0"

- Lo. Roof 27'-1"
- Turret Top Plate 23'-10"
- 2nd Floor Top Plate 18'-11"
- New Kitchen Plate 12'-0"
- 2nd Floor 10'-4"
- (E) 1st Floor Top Plate 9'-4"
- 2008 Addition (36.5 FF) 0'-6"
- 1st Floor (36.0 FF) 0'-0"



Existing South (Rear) Elevation 01
SCALE 1/4" = 1'-0"

- Lo. Roof 27'-1"
- Turret Top Plate 23'-10"
- 2nd Floor Top Plate 18'-11"
- New Kitchen Plate 12'-0"
- 2nd Floor 10'-4"
- (E) 1st Floor Top Plate 9'-4"
- 2008 Addition (36.5 FF) 0'-6"
- 1st Floor (36.0 FF) 0'-0"

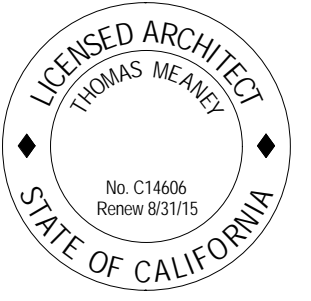


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REAR ELEVATIONS (SOUTH)
7/28/2015 4:10:29 PM

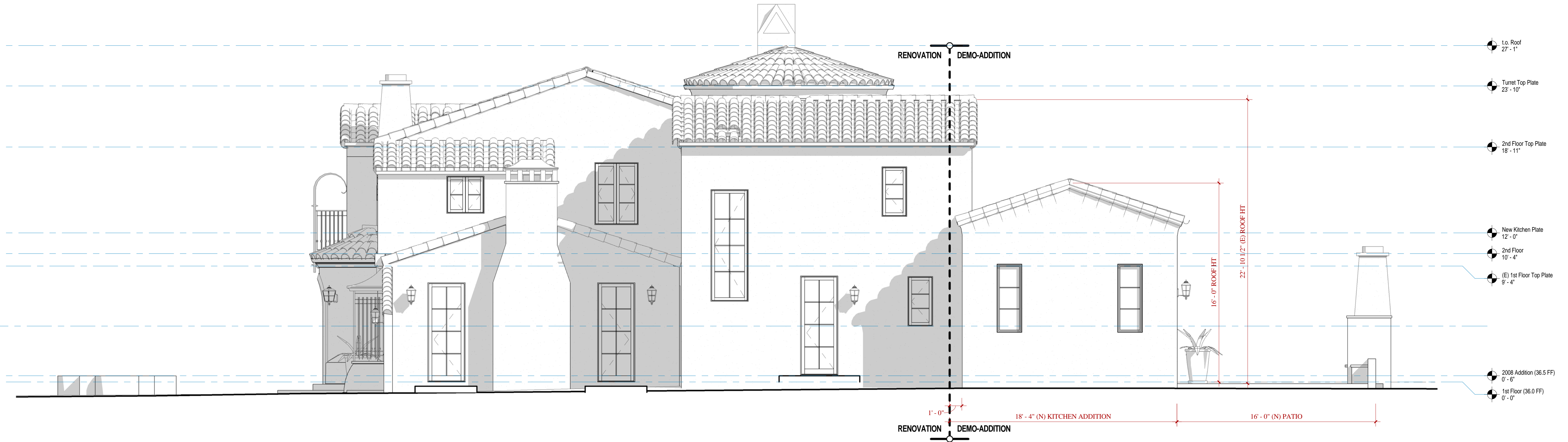


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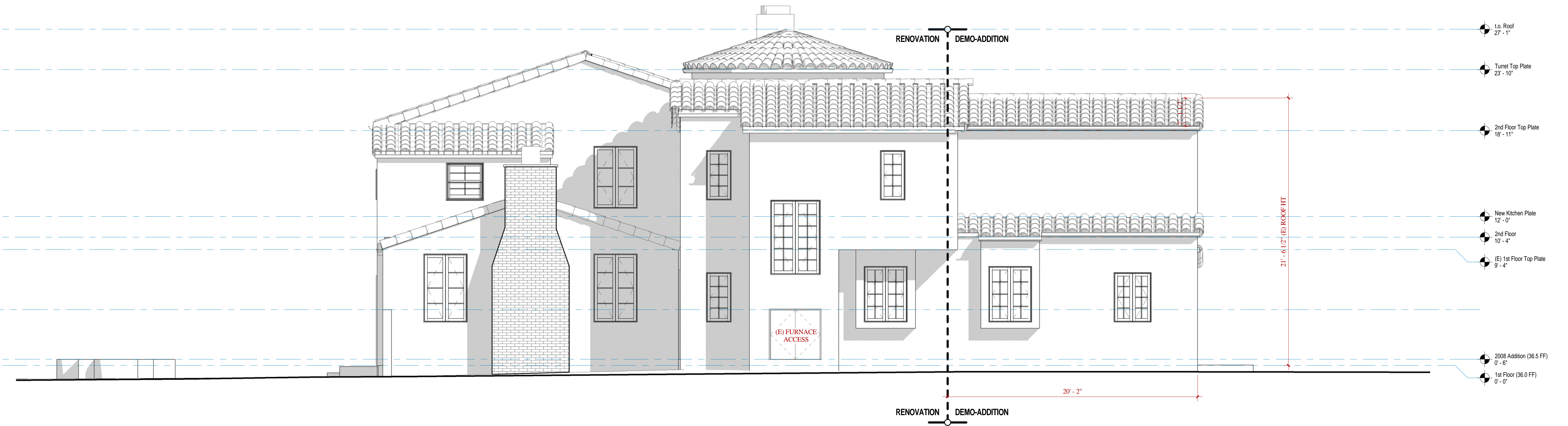
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Drawn: Author
Sheet: Checker

A4.2

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Proposed West (Neighbor) Elevation **02**
SCALE 1/4" = 1'-0"

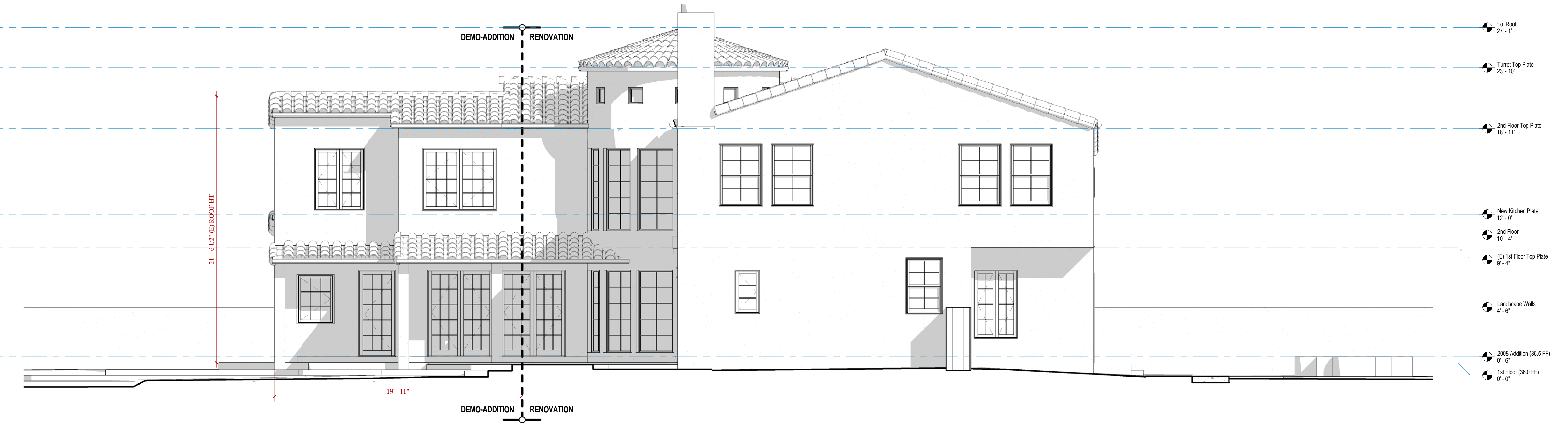


Existing West (Neighbor) Elevation **01**
SCALE 1/4" = 1'-0"

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Proposed East (Street) Elevation 02
SCALE 1/4" = 1'-0"



Existing East (Street) Elevation 01
SCALE 1/4" = 1'-0"

- L.o. Roof 27'-1"
- Turret Top Plate 23'-10"
- 2nd Floor Top Plate 18'-11"
- New Kitchen Plate 12'-0"
- 2nd Floor 10'-4"
- (E) 1st Floor Top Plate 9'-4"
- 2008 Addition (36.5 FF) 0'-6"
- 1st Floor (36.0 FF) 0'-0"

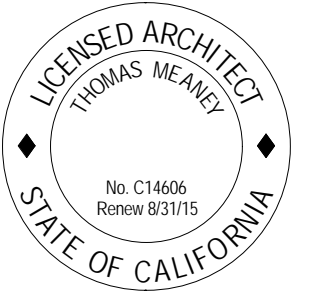
- L.o. Roof 27'-1"
- Turret Top Plate 23'-10"
- 2nd Floor Top Plate 18'-11"
- New Kitchen Plate 12'-0"
- 2nd Floor 10'-4"
- (E) 1st Floor Top Plate 9'-4"
- Landscape Walls 4'-6"
- 2008 Addition (36.5 FF) 0'-6"
- 1st Floor (36.0 FF) 0'-0"

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STREET ELEVATIONS (EAST)
7/28/2015 4:14:44 PM

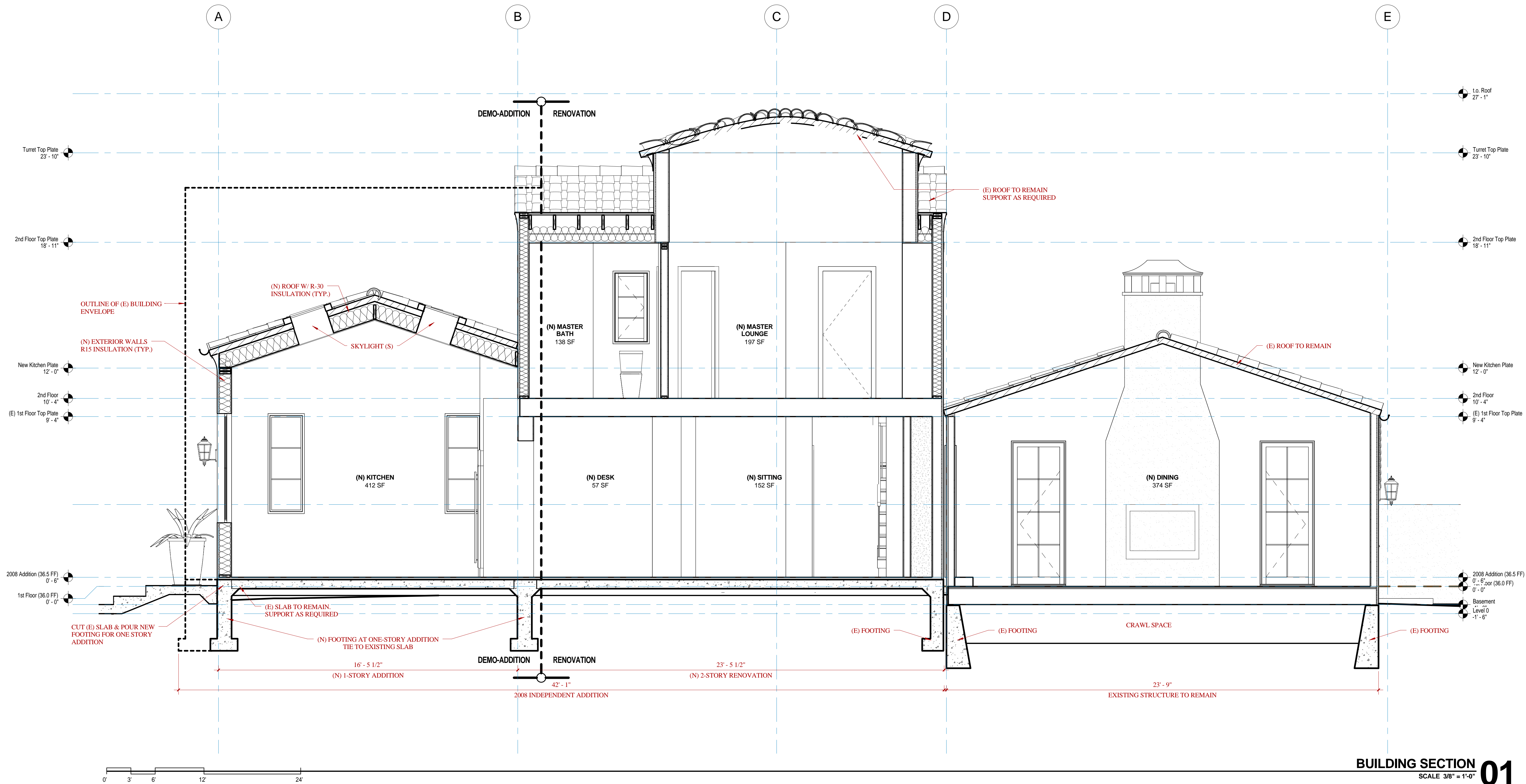


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Sheet: T. Meaney

A4.4

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BUILDING SECTION 01
SCALE 3/8" = 1'-0"

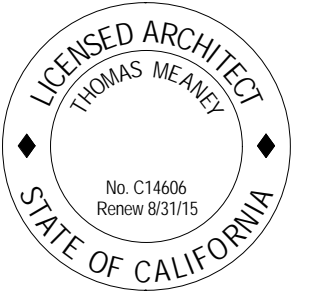
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BUILDING SECTION

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I.R. APP. No.:
15-PLN-00215

Date: ---
Drawn: Author
Sheet: Checker

A4.5

2013 CALGREEN MANDATORY CHECKLIST - RESIDENTIAL PROJECTS

Application: This plan sheet is for multi-family and single-family new construction less than 1,250sf, or addition or alterations less than 1250sf that increase the buildings conditioned area, volume, or size.

5.1 Planning and Design		SUMMARY	REFERENCE
CODE SECTION	4.106.	Storm water drainage and retention during construction (less than one acre)	
	4.106.3	Grading and paving.	
5.2 Energy Efficiency		SUMMARY	REFERENCE
CODE SECTION	4.201.1	Follow Title 24 Energy Code if required	
5.3 Water Efficiency and Conservation		SUMMARY	REFERENCE
CODE SECTION	4.301.1	Water conserving plumbing fixtures and fittings	
	4.303.1.1	Water Closets	
	4.303.1.2	Urinals	
	4.303.1.3.1	Single Showerheads	
	4.303.1.3.2	Multiple Showerheads serving one shower.	
	4.303.1.4	Faucets	
	4.303.1.5	Residential lavatory faucets	
	4.303.1.4.2	[Multi-family Only] Lavatory faucets in common and public use areas.	
	4.303.1.4.3	[Multi-family Only] Metering faucets	
	4.303.1.4.4	Kitchen Faucets	
	4.304.1	Irrigation Controllers	
5.4 Material Conservation and Resource Efficiency		SUMMARY	REFERENCE
CODE SECTION	4.406	Rodent Proofing	
	4.407	Water Resistance and Moisture Management	
	4.408.1	Construction Waste Management (Tier 2) 75% Diversion	
	4.408.2	Construction Waste Management Plan in Green Halo	
	4.408.3	Waste Management Company	
	4.410.1	Operation and Maintenance Manual	
5.5 Environmental Quality		SUMMARY	REFERENCE
CODE SECTION	4.501.1	Woodstove or pellet stove shall comply with U.S. EPA Phase II emission limits where applicable.	
	4.502.1	Definitions	
	4.503.1	General	
	4.504.1	Covering of Duct Openings and Protection of Mechanical Equipment During Construction	
	4.504.2	Finish Material Pollutant Control	
	4.504.2.1	Adhesives, sealants and caulks - Table 4.504.1 or 4.504.2	
	4.504.2.2	Paints and coatings - Table 4.504.3	
	4.504.2.3	Aerosol paints and coatings	
	4.504.3	Carpet Systems	
	4.504.3.1	Carpet Cushion	
	4.504.3.2	Carpet Adhesive	
	4.504.4	Resilient Flooring Systems	
	4.504.5	Composite Wood Products	
	4.505.2.1	Capillary break	
	4.505.2	Concrete Slab Foundations	
	4.505.3	Moisture Content of Building Materials	
	4.506.1	Bathroom Exhaust Fans	
	4.507.2	Heating and Air conditioning System Design	

OWNER Acknowledgement

This project is required to comply with the State California Green Building Code (T24 Part 11) and the City of Palo Alto's local amendments (PAMC 16.14). I, the **property owner** / legal representative, acknowledge and understand the requirements and penalties for noncompliance (\$50 per ton of waste not diverted from the landfill with a minimum of \$1000, and \$500 a day for noncompliance with the remaining green building measures). I am responsible for all activities performed by design team members, contractors and subcontractors in meeting the requirements.

Signature Date

Print Full Name

Phone or Email

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Title 24, Part 11, California Green Building Code (CALGreen)
 City of Palo Alto Green Building Ordinance 5220 (PAMC 16.14)
 City of Palo Alto Green Building Program and Resources
 Build It Green, GreenPoint Rated Guidelines and Checklists

http://www.bsc.ca.gov/tome/CAL_Green.aspx
<https://www.cityofpaloalto.org/civ/cav/filebank/documents/39184>
http://www.cityofpaloalto.org/gov/depts/cd/green_building/default.asp
<http://www.builditgreen.org/guidelines-checklists/>

RESIDENTIAL GREEN BUILDING APPLICATION CALGREEN MANDATORY

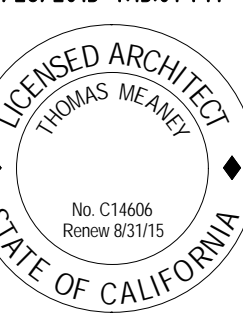
Application: This plan sheet is for multi-family and single-family new construction less than 1,250sf, or addition or alterations less than 1250sf that increase the buildings conditioned area, volume, or size.

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CAL GREEN MANDATORY MEASURES
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I.R. APP. No.: 15-PLN-00215

Date: ---
 Drawn: Author
 Sheet: Checker

GB-1

City of Palo Alto Tree Protection - It's Part of the Plan!

Make sure your crews and subs do the job right!

Fenced enclosures around trees are essential to protect them by keeping the foliage canopy and branching structure clear from contact by equipment, materials and activities, preserving roots and soil conditions in an intact and non-compacted state, and identifying the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved. **An approved tree protection report must be added to this sheet when project activity occurs within the TPZ of a regulated tree.** For detailed information on Palo Alto's regulated trees and protection during development, review the **City Tree Technical Manual (TTM)** found at www.cityofpaloalto.org/trees/.

TREE DISCLOSURE STATEMENT

CITY OF PALO ALTO
Planning Division, 250 Hamilton Avenue
Palo Alto, CA 94301
(650) 329-2441
<http://www.cityofpaloalto.org>

Palo Alto Municipal Code, Chapter 8.10.040, requires disclosure and protection of certain trees located on private and public property, and that they be shown on approved site plans. A completed disclosure statement must accompany all building permit applications that include exterior work, all demolition or grading permit applications, or other development activity.

PROPERTY ADDRESS: _____

Are there Regulated trees on or adjacent to the property? **YES** **NO** (If no, proceed to Section 4)

[Sections 1-4 MUST be completed by the applicant. Please circle and/or check where applicable.]

1. Where are the trees? Check those that apply. (Plans must be submitted showing over 4" diameter trees)

On the property
 On adjacent property overhanging the project site
 In the City planter strip or right-of-way easement within 30' of property line (Street Trees)*

*Street trees require special protection by a fenced enclosure, per the attached instructions. Prior to receiving any permit, you must provide an authorized Street Tree Protection Verification form by calling Public Works Operations at 493-5953 for inspection of required type I, II, or III fencing (see attached Detail #605).

2. Are there any Protected or Designated Trees? **YES** (Check where applicable) **NO**

Protected Tree (s)
 Designated Tree (s)
 On or overhanging the property

3. Is there activity or grading within the dripline? (radius 10 times the trunk diameter) of these trees? **YES** **NO**
If Yes, a **Tree Preservation Report** must be prepared by an ISA certified arborist and submitted for staff review (see TTM, Section 6.25). Attach this report to Sheet T-1, "Tree Protection, its Part of the Plan", per Site Plan Requirements.

4. Are the Site Plan Requirements** completed? **YES** **NO**

**Protection of Regulated trees during development require the following: (1) Plans must show the measured trunk diameter and canopy dripline; (2) Plans must denote, as a bold dashed line, a fenced enclosure area out to the dripline, per Sheet T-1 and Detail #605 - <http://www.cityofpaloalto.org/trees/forms.htm> (See also TTM, Section 2.15 for area to be fenced)

I, the undersigned, agree to the conditions of this disclosure. I understand that knowingly or negligently providing false or misleading information in response to this disclosure requirement constitutes a violation of the Palo Alto Municipal Code Section 8.10.040, which can lead to criminal and/or civil legal action.

Signature: _____ Print: _____ Date: _____
(Prop. Owner or Agent) **FOR STAFF USE:**

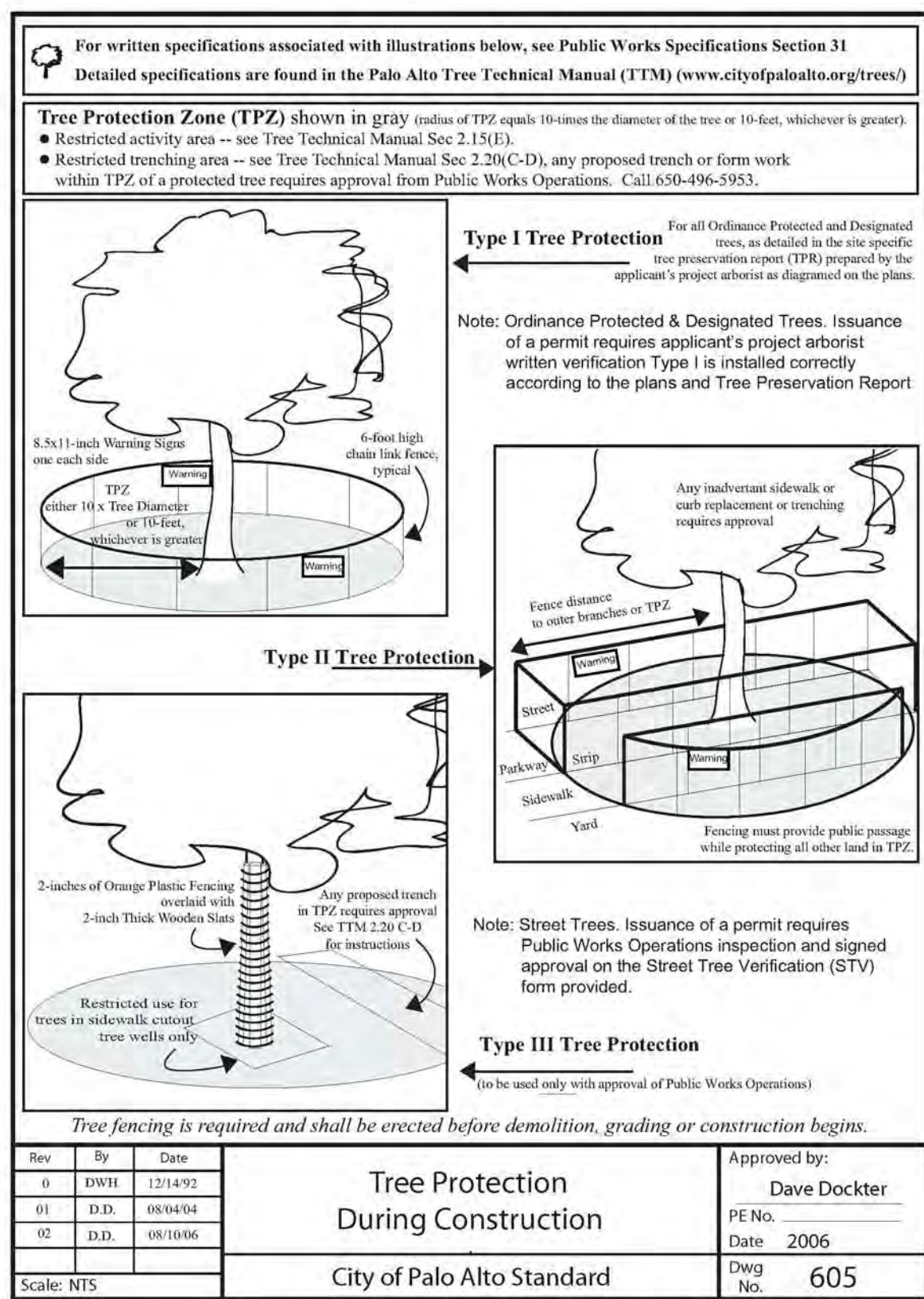
Protective Fencing
Sections 5-6 must be completed by staff for the issuance of any development permit (demolition, grading or building permit).

5. Protected Trees. The specified tree fencing is in place. A written statement is attached verifying that protective fencing is correctly in place around protected and/or designated trees. **YES** **NO**
(N/A if there are no protected trees, check here)

6. Street Trees. A signed Public Works Street Tree Protection Verification form is attached. **YES** **NO**
(N/A if there are no street trees, check here)

7. Regulated Trees - a) Street trees - trees on public property; b) Protected trees - Coast Live Oaks or Valley Oaks which are 11.5" in diameter or larger, Coast Redwoods which are 18" in diameter or larger, when measured 4' above natural grade; and Heritage Trees are trees designated by City Council; and c) Designated Trees - commercial or non-residential property trees, which are part of an approved landscape plan.
Palo Alto Tree Technical Manual (TTM) contains instructions for all requirements on this form, available at <http://www.cityofpaloalto.org/planning-community/tree-technical-manual.html>

S:\Plan\pdr\arborist\Tree Protection Info\Tree Disclosure Statement Revised 08/06



APPENDIX J PALO ALTO STREET TREE PROTECTION INSTRUCTIONS -SECTION 31-

31-1 General

a. Tree protection has three primary functions: 1) to keep the foliage canopy and branching structure clear from contact by equipment, materials and activities; 2) to preserve roots and soil conditions in an intact and non-compacted state and 3) to identify the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved, under the supervision of the City Arborist.

b. The Tree Protection Zone (TPZ) is a restricted area around the base of the tree with a radius of ten-times the diameter of the tree's trunk or ten feet, whichever is greater, enclosed by fencing.

31-2 Reference Documents

a. Detail 605 - Illustration of situations described below.
b. Tree Technical Manual (TTM) Forms (<http://www.cityofpaloalto.org/trees/>)
1. Trenching Restrictions (TTM, Section 2.20(C))
2. Arborist Reporting Protocol (TTM, Section 6.30)
3. Site Plan Requirements (TTM, Section 6.35)
4. Tree Disclosure Statement (TTM, Appendix J)
c. Street Tree Verification (STV) Form (<http://www.cityofpaloalto.org/trees/forms>)

31-3 Execution

a. **Type I Tree Protection:** The fence shall enclose the entire TPZ of the tree(s) to be protected throughout the life of the construction project. In some parking areas, if fencing is located on paving or concrete that will not be demolished, then the posts may be supported by an appropriate grade level concrete base, if approved by Public Works Operations.

b. **Type II Tree Protection:** For trees situated within a planting strip, only the planting strip and yard side of the TPZ shall be enclosed with the required chain-link protective fencing in order to keep the sidewalk and street open for public use.

c. **Type III Tree Protection:** To be used only with approval of Public Works Operations. Trees situated in a tree well or sidewalk planter pit, shall be wrapped with 2-inches of orange plastic fencing from the ground to the first branch and overlaid with 2-inch thick wooden slats bound securely (slats shall not be allowed to dig into the bark). During installation of the plastic fencing, caution shall be used to avoid damaging any branches. Major limbs may also require plastic fencing as directed by the City Arborist.

d. **Size, type and area to be fenced.** All trees to be preserved shall be protected with six (6) foot high chain link fences. Fences are to be mounted on two-inch diameter galvanized iron posts, driven into the ground to a depth of at least 2-feet or no more than 10-foot spacing. Fencing shall extend to the outer branching, unless specifically approved on the STV Form.

e. **"Warning" signs.** A warning sign shall be weather proof and prominently displayed on each fence at 20-foot intervals. The sign shall be minimum 8.5-inches x 11-inches and clearly state in half inch tall letters: "WARNING - Tree Protection Zone - This fence shall not be removed and is subject to a fine according to PALM Section 8.10.110."

f. **Duration.** Tree fencing shall be erected before demolition, grading or construction begins and remain in place until final inspection of the project, except for work specifically allowed in the TPZ. Work or soil disturbance in the TPZ requires approval by the project arborist or City Arborist (in the case of work around Street Trees). Excavations within the public right of way require a Street Work Permit from Public Works.

g. **During construction**

- All neighbors' trees that overhang the project site shall be protected from impact of any kind.
- The applicant shall be responsible for the repair or replacement plus penalty of any applicant owned trees that are damaged during the course of construction, pursuant to Section 8.04.070 of the Palo Alto Municipal Code.
- The following tree preservation measures apply to all trees to be retained:
 - No storage of material, spoil, vehicles or equipment shall be permitted within the TPZ.
 - The ground under and around the tree canopy area shall not be altered.
 - Trees to be retained shall be irrigated, aerated and maintained as necessary to ensure survival.

END OF SECTION
City of Palo Alto 2004 Standard Drawings and Specifications
Street Tree Verification of Protection, PWT, Section 31
Revised 08/06

Table 2-2 Palo Alto Tree Technical Manual CONTRACTOR & ARBORIST INSPECTION SCHEDULE

Reference: the Palo Alto Tree Technical Manual is available at www.cityofpaloalto.org/environment/

ALL CHECKED ITEMS APPLY TO THIS PROJECT:

- Inspection of Protective Tree Fencing.** For Public Trees, the Street Tree Verification Form shall be signed by the City Arborist. For Protected Trees, the project site arborist shall provide an initial Monthly Tree Activity Report form with a photograph verifying that he has conducted a field inspection of the trees and that the correct type of protective fencing is in place around the designated tree protection zone (TPZ) prior to issuance of a demolition, grading, or building permit. (See TTM, Verification of Tree Protection, Section 1.39).
- Pre-Construction Meeting.** Prior to commencement of construction, the applicant or contractor shall conduct a pre-construction meeting to discuss tree protection with the job site superintendent, grading operators, project site arborist, City Arborist, and, if a city maintained irrigation system is involved, the Parks Manager (Contact 650-496-6962).
- Inspection of Rough Grading or Trenching.** Contractor shall ensure the project site arborist performs an inspection during the course of rough grading or trenching adjacent to or within the TPZ to ensure trees will not be injured by compaction, cut or fill, drainage and trenching, and if required, inspect aeration systems, tree wells, drains and special paving. The contractor shall provide the project arborist at least 24 hours advance notice of such activity.
- Monthly Tree Activity Report Inspections.** The project site arborist shall perform a minimum monthly activity inspection to monitor and advise on conditions, tree health and retention or immediately if there are any revisions to the approved plans or protection measures. The Tree Technical Manual Monthly Tree Activity Report format shall be used and sent to the Planning Dept. landscape review staff no later than 14 days after issuance of building permit date. Fax to (650) 329-2154. (See TTM, Monthly Tree Activity Inspection Report, Addendum 11 & section 1.17).
- Special activity within the Tree Protection Zone.** Work in the TPZ area (see also #7 below) requires the direct onsite supervision of the project arborist (see TTM, Trenching, Excavation & Equipment, Section 2.20 C).
- Landscape Architect Inspection.** For discretionary development projects, prior to temporary or final occupancy the applicant or contractor shall arrange for the Landscape Architect to perform an on site inspection of all plant stock, quality of the materials and planting (see TTM, Planting Quality, Section 2.20.1 A) and that the irrigation is functioning consistent with the approved construction plans. The Planning Dept. landscape review staff shall be in receipt of written verification of Landscape Architect approval prior to scheduling the final inspection, unless otherwise approved.
- List Other** (please describe as called out in the site Tree Preservation Report, Sheet T-1, T-2, etc.)

City of Palo Alto Tree Technical Manual ADDENDUM 11 Arborist Firm Data Here

RECA/ISA Certified Arborist #152-360
Contract # _____

Monthly Tree Activity Report- Construction Site

Inspection Date:	Site address:	Contractor- Main Site Contact Information	#1 Job site superintendent Company: Email: Job site Office: Cell: Mail:
	Palo Alto, CA		
Inspection #		Also present:	
Distribution:	1. City of Palo Alto 2. Others	Attn: Dave Dockter	dave.dockter@cityofpaloalto.org 650-329-2440

Provide the requested minimum information with each report, customize as necessary. To be completed by project site arborist. Send monthly to city arborist at above address until project completion. Use additional sheets as needed.

- Assignment Activity (Demolition/grading/sewer/trenching/foundation/list relevant visits)
 - Pre-construction meeting requirement with sub-contractors
 - Inspect to verify that tree protection measures are in place
 - Determine if field adjustments, watering or plan revisions may be needed
- Field Observations (general site-wide and list by individual tree number)
 - Tree Protection Fences (TPF) are ...
 - Trenching has/will occur ...
- Action Items (list site-wide, by tree number and date to be satisfied) and Date Due
 - Tree Protection Fence (TPF) needs adjusting (tree # x, x, x)
 - Root zone buffer material (wood chips) can be installed next
 - Schedule sewer trench, foundation dig with ...
- Photographs (use often)
- Tree Location Map (mandatory 8.5 x 11 sheet)
- Recommendations, notes or monitor items for project/staff/schedule
- Past visits (list carry-over items satisfied/still outstanding)

Respectfully submitted,

Project site arborist
Consultant contact information (include email, cell#, and mailing)
Cc: _____

Enter Date _____ CPA Monthly Tree Activity Report: Type site address here Page #1 of 1

---WARNING---

Tree Protection Zone

This fencing shall not be removed without City Arborist approval (650-496-5953)

Removal without permission is subject to a \$500 fine per day*

*Palo Alto Municipal Code Section 8.10.110

City of Palo Alto Tree Protection Instructions are located at <http://www.city.palo-alto.ca.us/trees/technical-manual.html>

SPECIAL INSPECTIONS PLANNING DEPARTMENT TREE PROTECTION INSPECTIONS MANDATORY

PALM & 10 PROTECTED TREES. CONTRACTOR SHALL ENSURE PROJECT SITE ARBORIST IS PERFORMING REQUIRED TREE INSPECTION AND SITE MONITORING. PROVIDE WRITTEN MONTHLY TREE ACTIVITY REPORTS TO THE PLANNING DEPARTMENT LANDSCAPE REVIEW STAFF BEGINNING 14 DAYS AFTER BUILDING PERMIT ISSUANCE.

BUILDING PERMIT DATE: _____
DATE OF 1ST TREE ACTIVITY REPORT: _____
CITY STAFF: _____

REPORTING DETAILS OF THE MONTHLY TREE ACTIVITY REPORT SHALL CONFORM TO SHEET T-1 FORMAT. VERIFY THAT ALL TREE PROTECTION MEASURES ARE IMPLEMENTED AND WILL INCLUDE ALL CONTRACTOR ACTIVITY SCHEDULED OR UNSCHEDULED, WITHIN A TREE PROTECTION ROOT ZONE. NON-COMPLIANCE IS SUBJECT TO VIOLATION OF PALM & 10.080. REFERENCE: PALO ALTO TREE TECHNICAL MANUAL, SECTION 2.00 AND ADDENDUM 11.

Apply Tree Protection Report on sheet(s) T-2

Use additional "T" sheets as needed

T-1



All other tree-related reports shall be added to the space provided on this sheet (adding as needed) Include this sheet(s) on Project Sheet Index or Legend Page.
A copy of T-1 can be downloaded at <http://www.cityofpaloalto.org/civica/filebank/blobload.asp?BlobID=6460>

Special Tree Protection Instruction Sheet

City of Palo Alto



T-1

T M

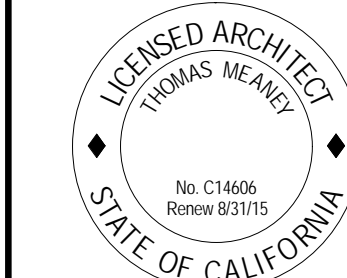
T O M M E A N E Y A R C H I T E C T

WWW.TOMMEANEY.COM

Residential Remodel
1068 University Avenue
Palo Alto, California 94301

SPECIAL TREE PROTECTION

7/28/2015 4:15:12 PM



I.R. APP. No.: 15-PLN-00215

Date: _____
Drawn: _____ Author: _____
Sheet: _____ Checker: _____

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City of Palo Alto Tree Protection - It's Part of the Plan!

Make sure your crews and subs do the job right!

Fenced enclosures around trees are essential to protect them by keeping the foliage canopy and branching structure clear from contact by equipment, materials and activities, preserving roots and soil conditions in an intact and non-compacted state, and identifying the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved. **An approved tree protection report must be added to this sheet when project activity occurs within the TPZ of a regulated tree.**
For detailed information on Palo Alto's regulated trees and protection during development, review the **City Tree Technical Manual (TTM)** found at www.cityofpaloalto.org/trees/.

Apply Tree Protection Report on sheet(s) T-2
Use additional "T" sheets as needed

T-2



All other tree-related reports shall be added to the space provided on this sheet (adding as needed)
Include this sheet(s) on Project Sheet Index or Legend Page.
A copy of T-1 can be downloaded at
<http://www.cityofpaloalto.org/civica/filebank/blobload.asp?BlobID=6460>

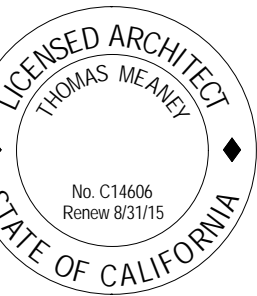
Special Tree Protection Instruction Sheet
City of Palo Alto



Residential Remodel
1068 University Avenue
Palo Alto, California 94301

SPECIAL TREE
PROTECTION

7/28/2015 4:16:04 PM



I.R. APP. No.:
15-PLN-00215

Date: ---
Drawn: Author
Sheet: Checker

T-2