



850 MESA AVENUE



840 MESA AVENUE



4192 MANUELA AVE.



MESA AVENUE

EXISTING STREETScape

PROJECT DIRECTORY

OWNER: Jennifer Liu & Jay Zhu
827 Richardson Court
Palo Alto, CA 94303

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2625 Middlefield Rd. Suite 658
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e-mail: ed@weceng.com

ENERGY CONSULTANT: BAY AREA ENERGY COMPLIANCE
1826 Alfreda Blvd.
San Pablo, CA 94806
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REVISIONS	BY

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TS	TITLE SHEET
A1	SITE PLAN
A1.1	AREA SITE PLAN
C1	TOPOGRAPHIC SURVEY PLAN
T1	TREE PROTECTION SHEET
GB1	GREEN BUILDING CHECKLIST
GB2	GREEN BUILDING CHECKLIST
PPP	POLLUTION PREVENTION PLAN
A2	FIRST FLOOR PLAN
A3	SECOND FLOOR PLAN
A4	ROOF PLAN
A5	BUILDING SECTION
A6	EXTERIOR ELEVATIONS
A7	EXTERIOR ELEVATIONS
FA1	FIRST FLOOR AREA CALCULATION
FA2	SECOND FLOOR AREA CALCULATION
FA3	LOT COVERAGE CALCULATION

THIS PROJECT IS A NEW TWO STORY RESIDENCE WITH A THREE CAR ATTACHED GARAGE. THERE IS NO BASEMENT PROPOSED. SITE IMPROVEMENTS ARE LIMITED TO STEPS AND TERRACES LEADING IN AND OUT OF THE HOME AND NEW DRIVEWAY THAT REUSES THE EXISTING DRIVEWAY CURB CUT.

SHEET INDEX

PROJECT DISCIPTION

BLOCK MAP

PROJECT VICINITY MAP

SUMMARY OF PROJECT DATA

Parcel Report for APN: 175-01-080

Net Lot Size: Cannot assess due to creek or flag lot configuration.
Zone: R-1 (2000)
Zone %: 100

Land Use Designation: SF
Land Use Designation %: 100

Flood Zone: X
LOMA: no
Parking District: none
Airport Influence Area: no
Historic Status: none

Homer/Emerson Corridor Frontage: no

Easements: Yes, see Public Works for possible requirements.
Underlying Lot Lines: no
Near Creek Feature: Yes, may require SCVWD review.

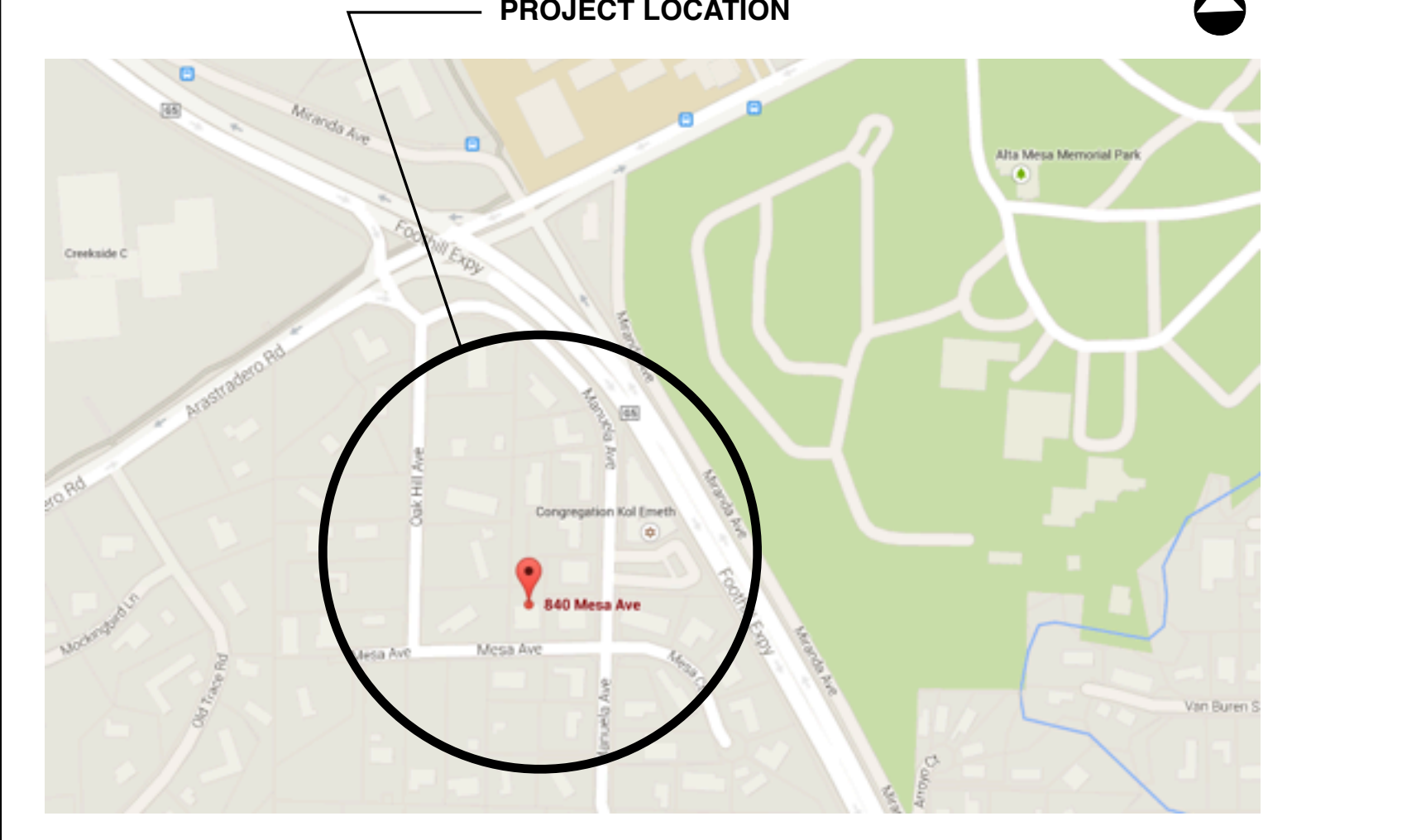
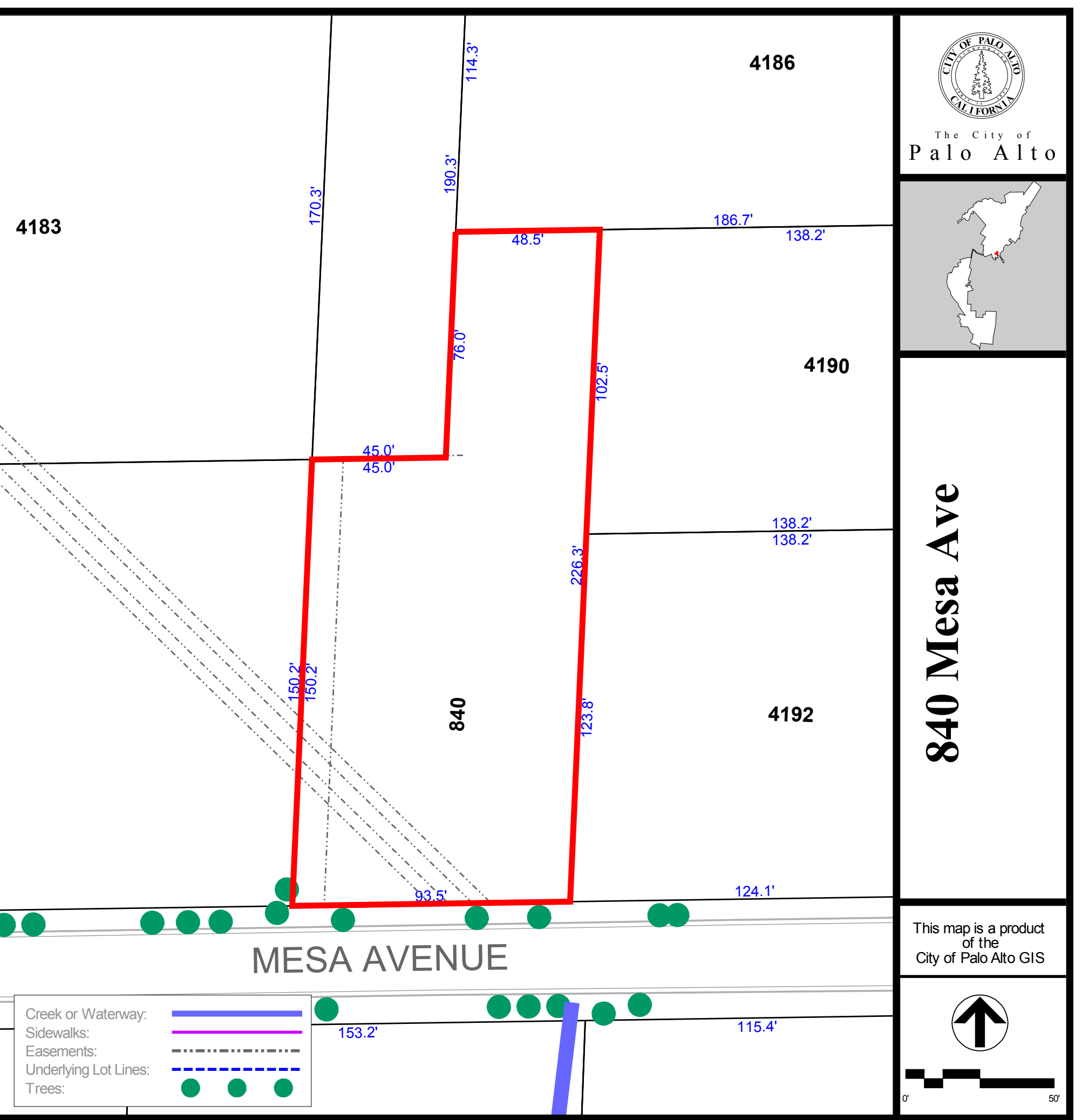
Distance between sidewalk and pt. (as measured on map): _____

Substandard: no
Flag Lot: no
Cottage: Not eligible, lot size too small.

Max Floor Area: Cannot assess due to creek or flag lot configuration.
Max Lot Coverage: Cannot assess due to creek or flag lot configuration.
Max Height to Ridge: Cannot assess due to creek or flag lot configuration.

Special Setbacks: 50' along Mesa Ave

Minimum Setbacks:
Front: If no special setback, 20', or, if avg. contextual setback > 30', the avg. contextual setback.
Rear: 20'
Interior Side(s): 8'
Street Side: If no special setback, 16'



PROJECT AERIAL PHOTO

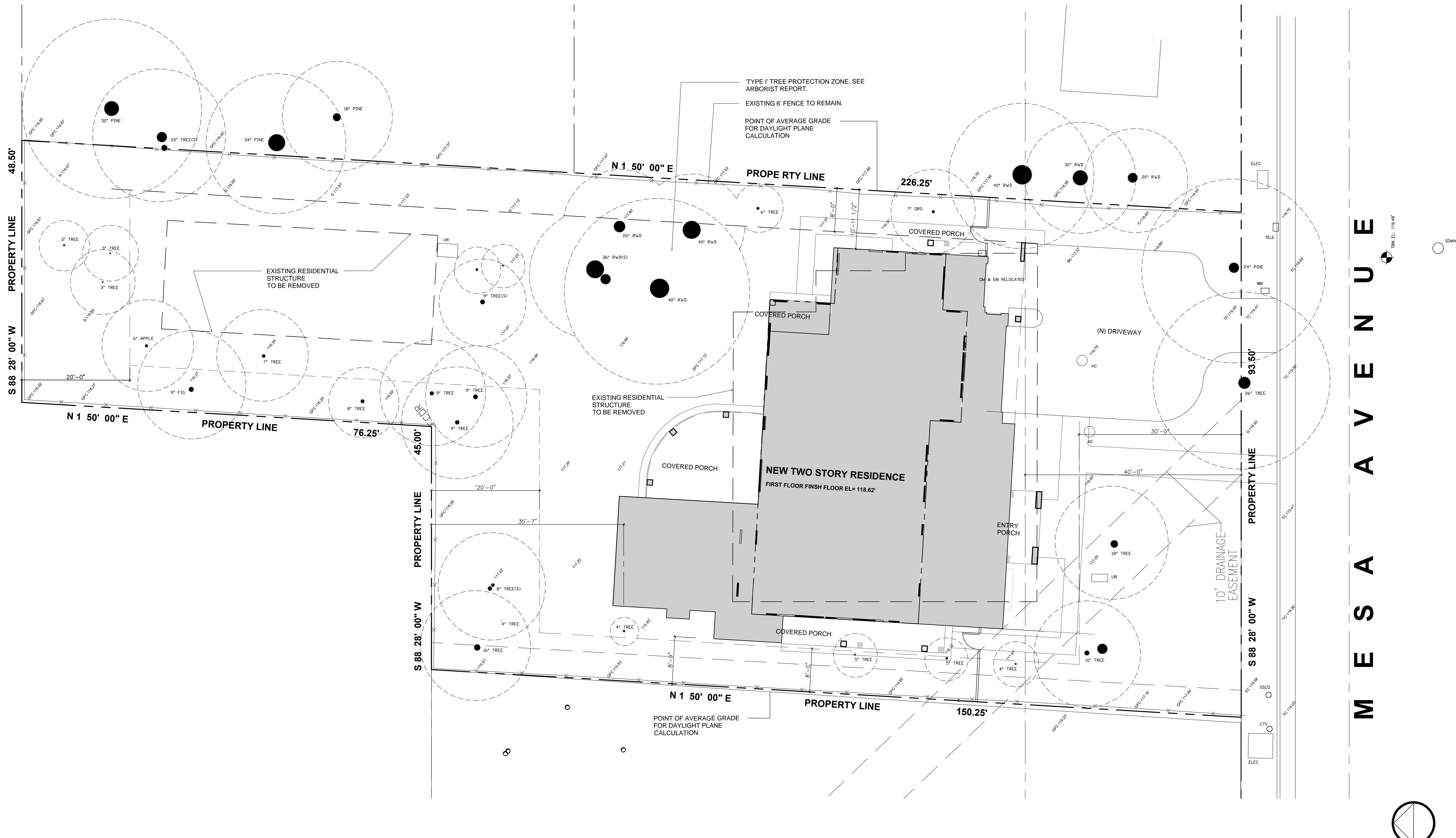


LOT COVERAGE SUMMARY	
LOT AREA:	13,680.00 sf.
PROPOSED FIRST FLOOR:	2,748.04 sf.
PROPOSED GARAGE:	627.49 sf.
TOTAL EXISTING LOT COVERAGE:	3,375.53 sf.
PROPOSED ACCESSORY:	0.00 sf.
TOTAL PROPOSED LOT COVERAGE:	3,375.53 sf.
ALLOWABLE LOT COVERAGE:	2,331 sf.
COVERED PORCHES:	59.00 sf.
ALLOWABLE COVERED PORCHES:	333.00 sf.
FLOOR AREA SUMMARY	
LOT AREA:	13,680.00 sf.
PROPOSED FIRST FLOOR:	2,748.04 sf.
PROPOSED GARAGE:	627.49 sf.
TOTAL FIRST FLOOR AREA:	3,375.53 sf.
PROPOSED SECOND FLOOR:	2,126.48 sf.
TOTAL PROPOSED FLOOR AREA:	5,502.01 sf.
ALLOWABLE FLOOR AREA:	6,000.00 sf.

NEW TWO STORY RESIDENCE FOR:
LEI CHEN LIANG
840 MESA AVENUE
PALO ALTO, CALIFORNIA

STREETSCAPES
PROJECT MAPS
SUMMARY OF
PROJECT DATA

DRAWN	RAL
CHECKED	RK
DATE	
SCALE	AS SHOWN
JOB NO.	T-025
SHEET	TS



SITE PLAN

SCALE: 1/8" = 1'-0"
0 4 8 12 16 20

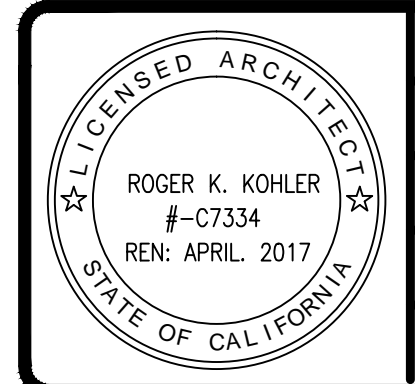
REVISIONS	BY	REVISIONS	BY	REVISIONS	BY

SITE PLAN

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PALO ALTO, CALIFORNIA

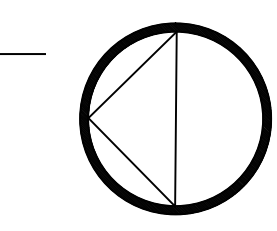
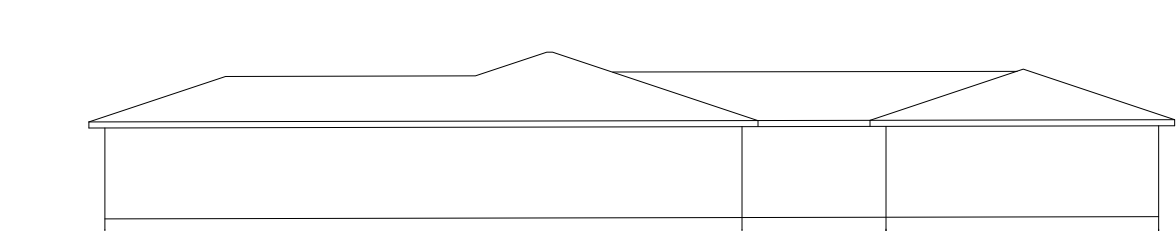
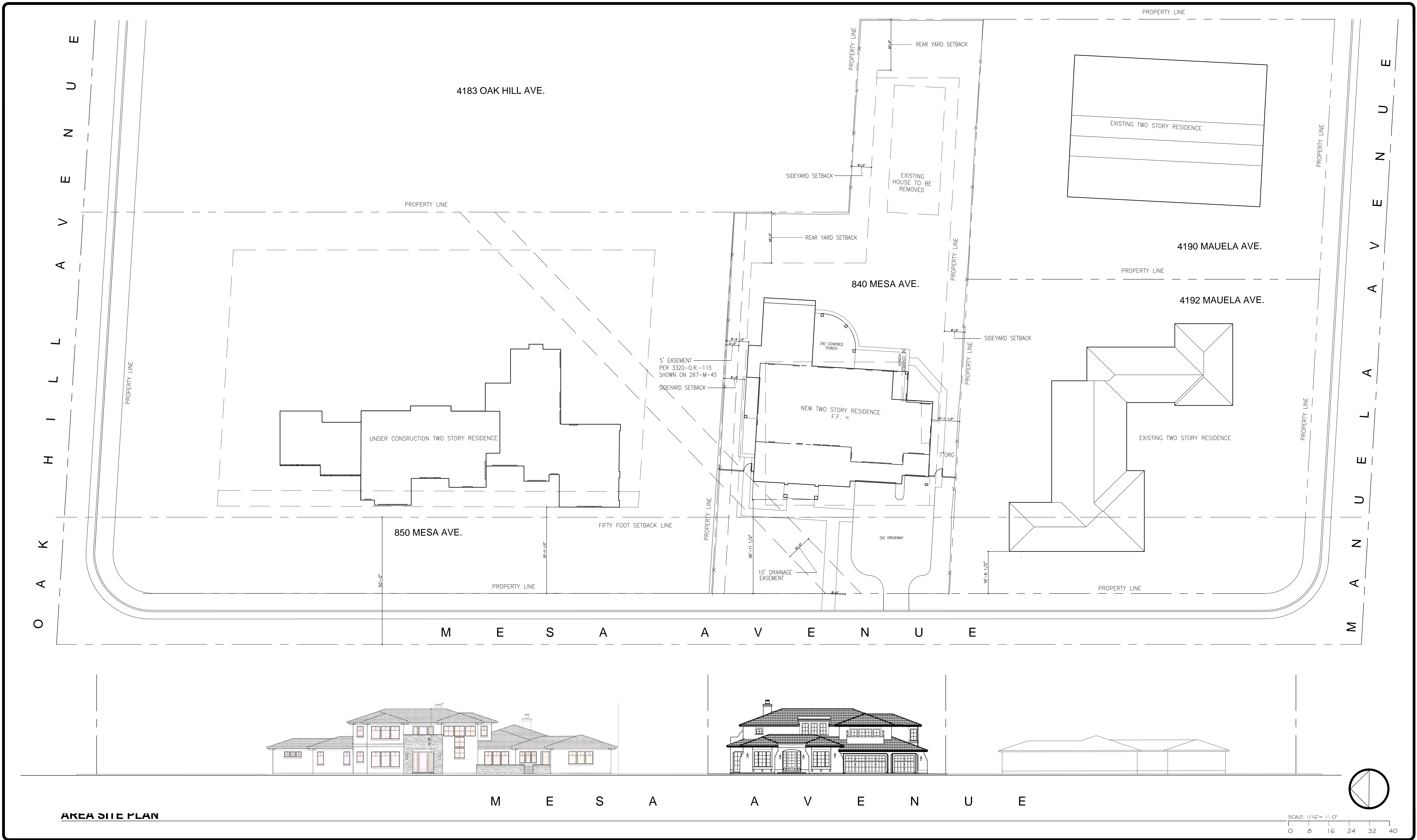


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DRAWN
RAL
CHECKED
MK
DATE
1.21.2015
SCALE
1/8" = 1'-0"
JOB NO.
840 MESSA AVE

SHEET
A1
OF SHEETS



AREA SITE PLAN

SCALE: 1/16" = 1'-0"
0 8 16 24 32 40

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AREA PLAN

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KOHLER
ASSOCIATES
ARCHITECTS

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	DRAWN RAL	SHEET A1.1 OF SHEETS
	CHECKED MK	
	DATE 1.21.2015	
	SCALE 1/16" = 1'-0" JOB NO. 840 MESSA AVE	

CHEN RESIDENCE

840 MESA AVENUE
PALO ALTO, CA
APN: 175-01-080



2625 MIDDLEFIELD RD #658
PALO ALTO, CA 94306
TEL: (650) 823-6466
FAX: (650) 887-0321

LICENSE STAMPS AND SIGNATURE

LEGEND:

- AC ASPHALT CONCRETE
- BC BUILDING CORNER
- BW BACK OF WALK
- CB CATCH BASIN
- CMP CORRUGATED METAL PIPE
- CO CLEAN OUT
- CRN CROWN
- DW DRIVEWAY
- EC EDGE OF CONCRETE
- EM ELECTRIC METER
- EP EDGE OF PAVEMENT
- FCOR FENCE CORNER
- FOUND FOUND
- FF FINISHED FLOOR
- FL FLOW LINE
- FH FIRE HYDRANT
- FW FRONT OF WALK
- G GROUND
- GC GARAGE CORNER
- GF GARAGE FACE/FRONT
- GFC GROUND AT FENCE
- GM GAS METER
- HCR HANDICAP RAMP
- INV INVERT
- IP IRON PIPE
- JP JOINT POLE
- LG LIP OF GUTTER
- O/H OVERHEAD
- PC PROPERTY CORNER
- RW RETAINING WALL
- SL STREET LIGHT
- SSCO SANITARY SEWER CLEANOUT
- SSMH SANITARY SEWER MANHOLE
- SDMH STORM DRAIN MANHOLE
- TBC TOP BANK ROLLED CURB
- TC TOP OF CURB
- TOB TOP OF BANK
- TOE TOP OF BANK
- TP TOP OF PAVEMENT
- TRC TOP OF ROLLED CURB
- TW TOP OF WALL
- U/G UNDERGROUND
- VCP VITRIFIED CLAY PIPE
- WV WATER VALVE
- WM WATER METER BOX
- CIV- CABLE TELEVISION LINE
- E- ELECTRICAL LINE
- G- GAS LINE
- SS- SANITARY SEWER LINE
- SD- STORM DRAIN LINE
- T- TELEPHONE LINE
- W- WATER LINE

BASIS OF BEARINGS:

THE BEARING, S88°28'00"W, OF THE CENTER LINE OF MESA AVENUE, AS SHOWN ON THAT CERTAIN MAP FILED IN THE OFFICE OF THE RECORDER OF SANTA CLARA COUNTY, STATE OF CALIFORNIA, IN BOOK L OF MAPS AT PAGE 44, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

BASIS OF ELEVATION:

TBM ELEV = 119.48 (ASSUMED)

UTILITY NOTE:

UNDERGROUND UTILITIES, SHOWN PER SURFACE EVIDENCE AND RECORD MAPS, MAY BE DIFFERENT THAN AS SHOWN. BEFORE EXCAVATION, CALL UNDERGROUND SERVICE ALERT (USA) 1-800-642-2444.

FLOOD ZONE INFO:

NOT IN FLOOD ZONE

NOTE:

1. MEASUREMENT OF BUILDING LINE IS TO THE FACE OF STUCCO OR SIDING

ISSUED		
No.	Description	Date

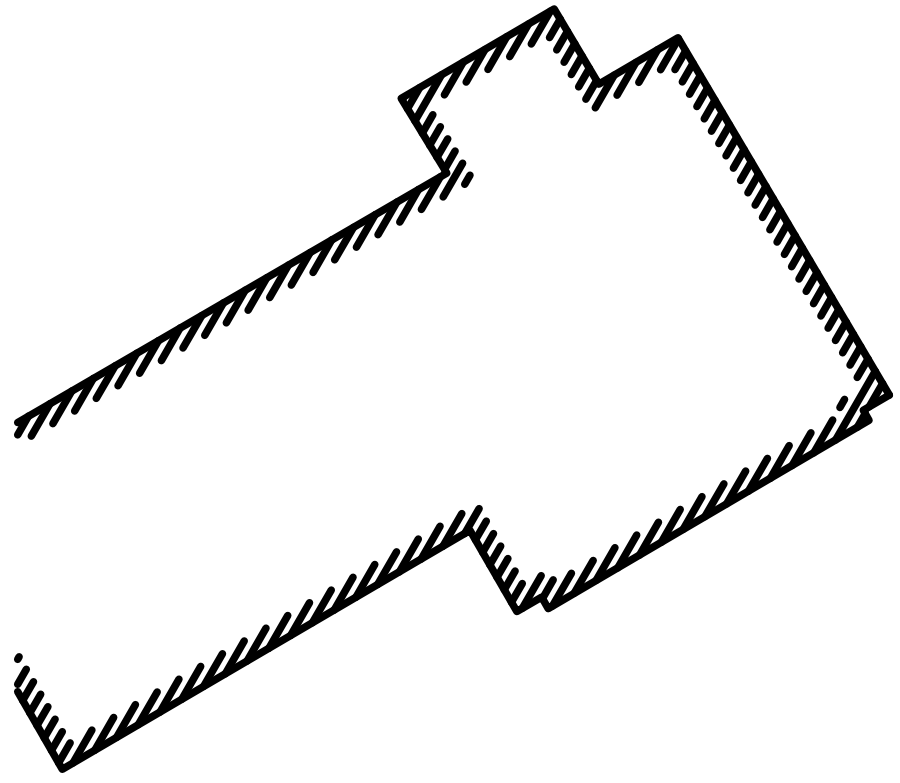
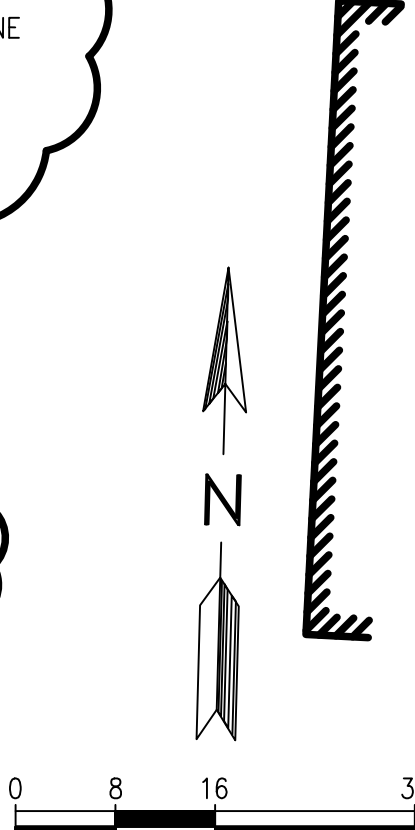
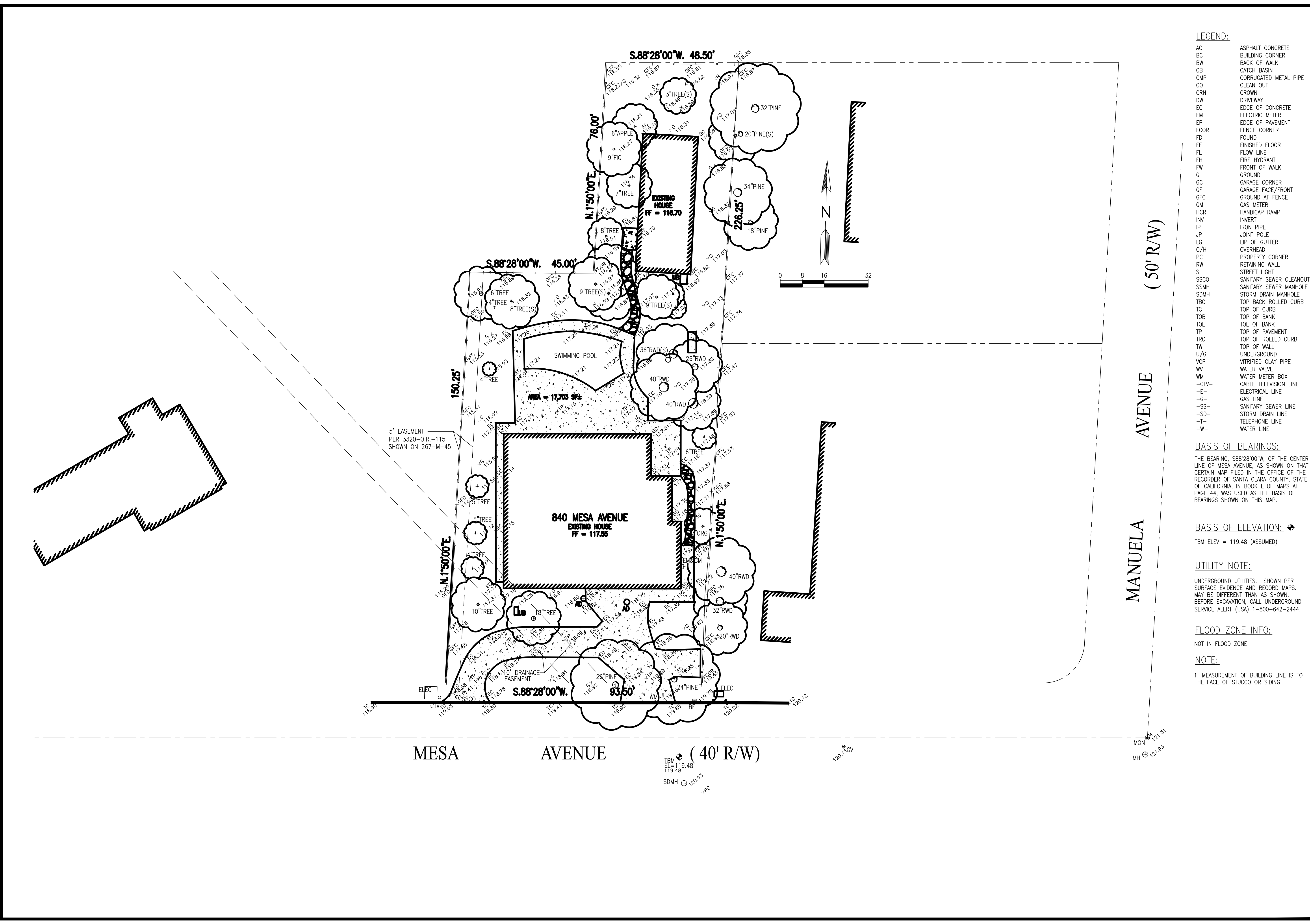
DATE:	APRIL 1, 2014
SCALE:	1/16"=1'-0"
DRAWN:	BG
JOB:	10078

SHEET TITLE:

TOPOGRAPHIC SURVEY

SHEET NO.

C.0





RIGHT SIDE EXTERIOR ELEVATION

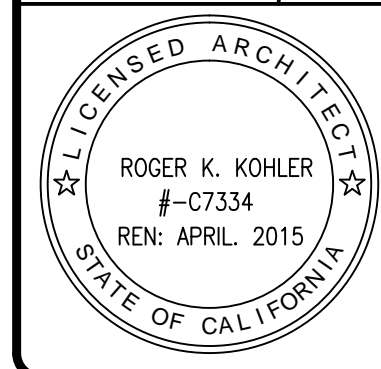
SCALE: 1/4" = 1'-0"
0 2 4 6 8 10



FRONT EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"
0 2 4 6 8 10

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EXTERIOR ELEVATIONS

DRAWN	RAL
CHECKED	
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SCALE	1/4" = 1'-0"
JOB NO.	840 MESA AVE

A6
OF SHEETS



RIGHT SIDE EXTERIOR ELEVATION

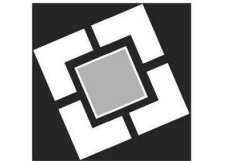
SCALE: 1/4" = 1'-0"
0 2 4 6 8 10



REAR EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"
0 2 4 6 8 10

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