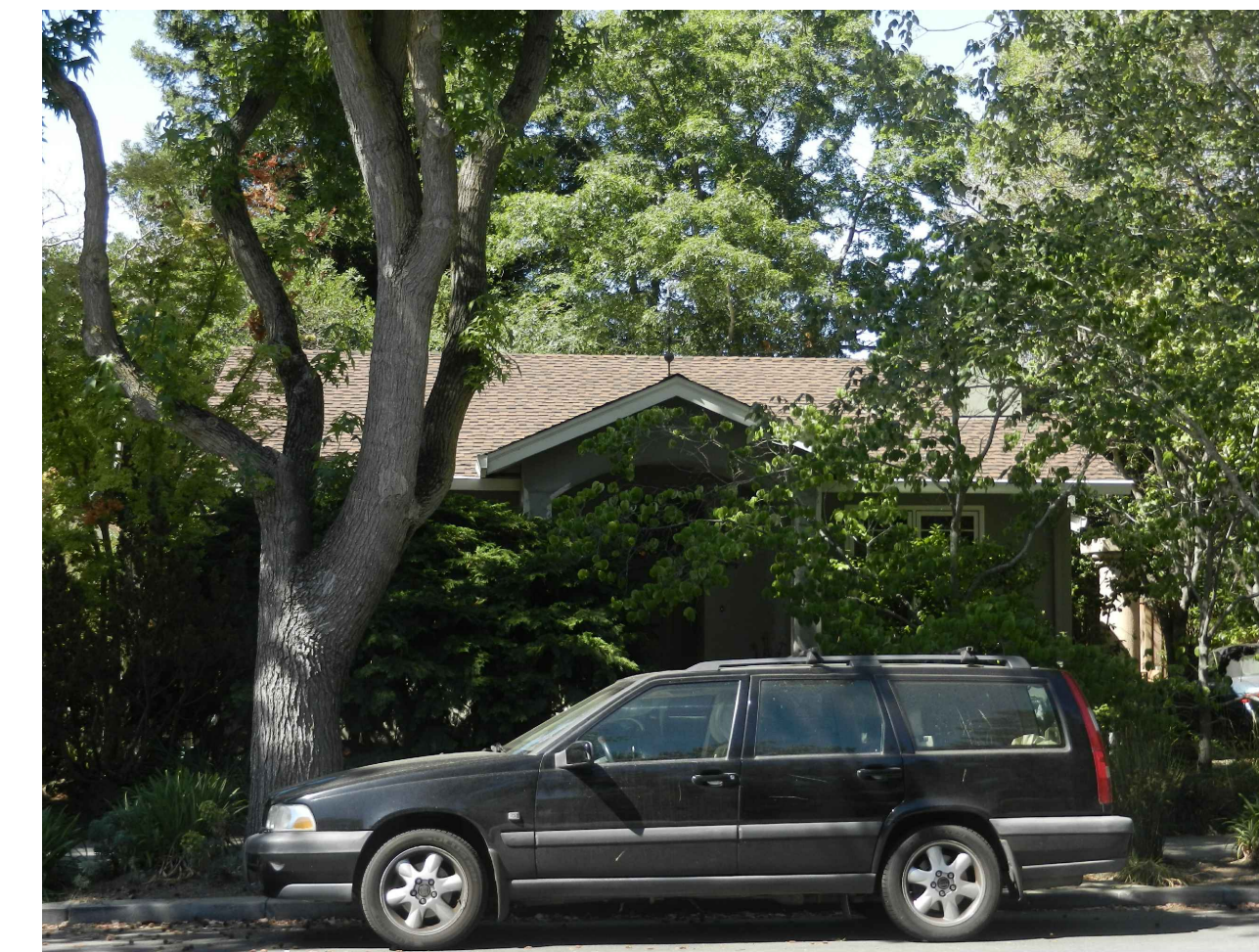




670 GUINDA STREET



650 GUINDA STREET



644 GUINDA STREET

EXISTING STREETScape



670 GUINDA STREET

650 GUINDA STREET

644 GUINDA STREET

1/8"=1'-0"

ELEVATION CERTIFICATION SUBMITTAL REQUIREMENTS FOR CONSTRUCTION IN THE SPECIAL FLOOD HAZARD AREA\* NOTE LOCATED ON THE SHEET \_A1\_ OF THESE PLANS FOR FOUNDATION SURVEY REQUIREMENTS.

ELECTRICAL VEHICLE SUPPLY EQUIPMENT (EVSE) TO BE APPROVED UNDER SEPARATE PERMIT.

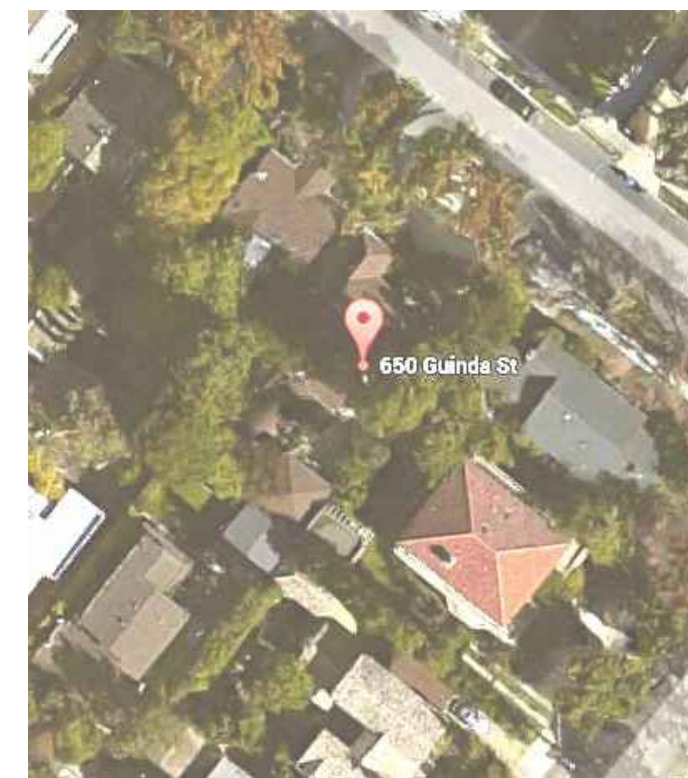
A RESIDENTIAL FIRE SPRINKLER SYSTEM IS REQUIRED IN ACCORDANCE WITH NFPA 13D AND STATE AND LOCAL REQUIREMENTS.

PROPOSED STREETScape

BLOCK MAP



TOP VIEW



DEFERRED SUBMITTAL

DEFERRED SUBMITTALS TO BE REVIEWED BY PROJECT ARCHITECT OR ENGINEER OF RECORD AND CERTIFIED PRIOR TO SUBMITTAL FOR PLAN REVIEW.  
AUTOMATIC FIRE EXTINGUISHING SYSTEM (AFES) PPERMIT IS A DEFERRED PERMIT. SEPARATE FIRE CODE PERMIT. PLAN CALCULATIONS, DETAILS AND SPECIFICATIONS WILL BE SUBMITTED AND APPROVED BY THE CPA FIREDEPARTMENT.

VICINITY MAP



PROJECT DATA

**PROJECT DATA**  
650 GUINDA STREET  
APN: 003-32-005  
ZONE DISTRICT: R-1  
PROJECT IS NOT SUBJECT TO CONTEXTUAL FRONT YARD SETBACK  
PROJECT IS IN THE FLOOD ZONE

SHEET INDEX

- TP VICINITY MAP, NEIGHBORHOOD CONTEXT, SUMMARY, STREET SCAPE, PROJECT DATA
- T1 CITY OF PALO ALTO SPECIAL TREE PROTECTION SHEET
- T2 TREE REPORT
- GB1 GREEN POINT CHECKLIST
- A1 ARCHITECTURAL SITE PLAN, LOT SUMMARY
- A2 FIRST FLOOR PLAN
- A3 SECOND FLOOR PLAN
- A4 ROOF PLAN
- A5 EXTERIOR ELEVATIONS
- A6 EXTERIOR ELEVATIONS
- A7 SECTIONS
- FA1 FLOOR AREA WORKSHEET
- G1 GARAGE
- SH1 SHED
- C0 SURVEY

REVISIONS	BY

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NEW RESIDENCE FOR:  
**METE & PINAR YILMAZ**  
 650 GUINDA STREET  
 PALO ALTO, CALIFORNIA

TITLE PAGE

DRAWN	U.D.
CHECKED	
DATE	08.17.15
SCALE	
JOB NO.	650 GUINDA ST.
SHEET	
	<b>TP</b>
OF	SHEETS



**NOTE**

**Elevation Certification Submittal Requirements for Construction in the Special Flood Hazard Area**  
 FEMA Flood Zone Designation: AH 41.9

**DURING CONSTRUCTION OF STRUCTURE:**

- After the slab forms are set and prior to the foundation inspection, the Permittee must complete a FEMA *Elevation Certificate* verifying that the resultant lowest floor will be constructed at or above the Base Flood Elevation.
- The completed *Elevation Certificate* must be submitted to the Public Works Inspector for review prior to closing up the floor. The Inspector must be able to verify the grades shown on the *Certificate*. The Public Works Inspector will indicate their approval by noting it on the *Building Inspection Card*.
- No further building inspections beyond the foundation inspection will be made by City Building Inspection staff until the Public Works Inspector has verified that the Permittee has successfully fulfilled the elevation certification requirements. Once the above *Elevation Certificate* is approved, the Public Works Inspector will sign the *Building Permit Inspection Card* indicating that further building inspections may occur.
- In most cases, the *Elevation Certificate* may only be signed by a land surveyor, engineer, or architect who is authorized by law to certify elevation information (see *Elevation Certificate* instructions for details).
- The *Elevation Certificate* completed at this time is an interim document intended to verify that the lowest floor of the structure will be adequately elevated at a stage of construction when any deficiency can be easily corrected. The Permittee should complete as much of the *Elevation Certificate* as possible (based on the status of the construction) and check "Building Under Construction" on line C1 of the *Certificate*.

**PRIOR TO FINAL SIGN-OFF OF THE BUILDING PERMIT:**

- The Permittee must complete a final ("Finished Construction") FEMA *Elevation Certificate*, on which all information applicable to the structure and the final site grades is provided. In most cases, the *Elevation Certificate* may only be prepared by and signed by a land surveyor, engineer, or architect who is authorized by law to certify elevation information (see *Elevation Certificate* instructions for details). The completed *Elevation Certificate* must be submitted to the Public Works Inspector\* for review and approval by Public Works Engineering staff.
- The *Building Permit* will not receive final sign-off until the Permittee has successfully fulfilled the final elevation certification requirements described above.

\* Public Works Inspector: (650) 496-6929

**LEGEND**

- SITE PLAN LEGEND:**
- — — — — PROPERTY LINE
  - - - - - SETBACK LINE
  - ▭ EXISTING STRUCTURE TO BE REMOVED
  - ▭ NEW FIRST FLOOR
  - ▭ NEW SECOND FLOOR
  - 16" TREE
  - 16" TREE
  - × TREE TO BE REMOVED
  - x 23.2 EXISTING SPOT ELEVATION

**FLOOR AREA**

**LOT COVERAGE SUMMARY:**

LOT AREA .....	5,625.00 SQ. FT.
FIRST FLOOR .....	1,275.06 SQ. FT.
GARAGE .....	225.59 SQ. FT.
REAR PORCH .....	135.77 SQ. FT.
SECOND FLOOR O.H. ....	85.27 SQ. FT.
SECOND FL. BALCONY .....	46.50 SQ. FT.
SHED .....	119.17 SQ. FT.
TOTAL .....	1,887.13 SQ. FT. 33.5 %
ALLOWABLE .....	1,968.75 SQ. FT. 35.0 %

**COVERED PORCHES**

FRONT PORCH .....	193.68 SQ. FT.
ALLOWABLE 5% PORCH .....	281.25 SQ. FT.

**FLOOR AREA SUMMARY:**

FIRST FLOOR .....	1,279.06 SQ. FT.
SECOND FLOOR .....	930.30 SQ. FT.
GARAGE .....	225.59 SQ. FT.
TOTAL FLOOR AREA .....	2,434.95 SQ. FT.
ALLOWABLE FLOOR AREA .....	2,437.50 SQ. FT.

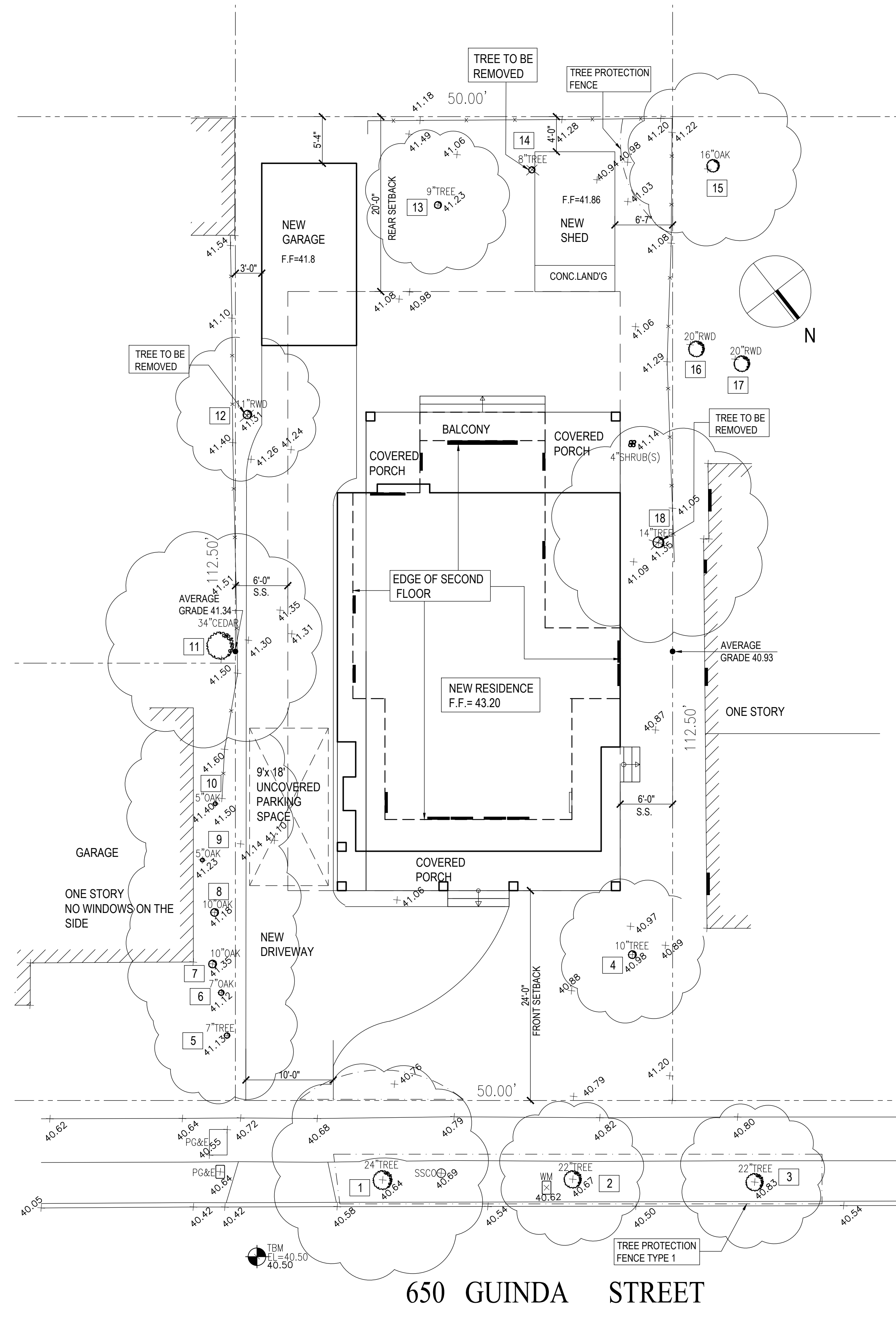
THE EXISTING DRIVEWAY SHALL REMAIN IN PLACE AS LONG AS POSSIBLE AND TO BE USED FOR STAGING. DURING EXCAVATION OF THE OLD DRIVEWAY, HAND TOOLS MUST BE USED IN ORDER TO PRESERVE AS MUCH OF THE ROOT ZONE AS POSSIBLE. DURING EXCAVATION OF THE DRIVEWAY THE SITE ARBORIST WILL BE ON SITE TO OBSERVE AND DOCUMENT ANY LARGE ROOTS FOUND. WHEN INSTALLING THE NEW DRIVEWAY GEO GRID FABRIC WITH COMPATIBLE BASE ROCK WILL BE USED.

ANY ROOTS TO BE CUT SHOULD BE MONITORED AND DOCUMENTED. LARGER ROOTS OR MASSES OF ROOTS TO BE CUT SHOULD BE INSPECTED BY THE SITE ARBORIST. THE SITE ARBORIST MAY RECOMMEND IRRIGATION OR FERTILIZING AT THAT TIME. CUT ALL ROOTS CLEAN WITH SAW OR LOPPERS. ROOTS TO BE LEFT EXPOSED FOR A PERIOD OF TIME SHOULD BE COVERED WITH LAYERS OF BURLAP AND KEPT MOIST.

TRENCHING FOR IRRIGATION, ELECTRICAL, DRAINAGE OR ANY OTHER REASON, SHOULD BE HAND DUG WHEN BENEATH THE DRIPLINE OF DESIRED TREES. HAND DIGGING AND CAREFUL PLACEMENT OF PIPES BELOW OR BESIDE PROTECTED ROOTS WILL DRAMATICALLY REDUCE ROOTS, THUS REDUCING TRAUMA TO DESIRED TREES. TRENCHES SHOULD BE BACK FILLED AS SOON AS POSSIBLE USING NATIVE MATERIALS AND COMPACTED TO NEAR ORIGINAL LEVELS. TRENCHES TO BE LEFT OPEN WITH EXPOSED ROOTS SHALL BE COVERED WITH BURLAP AND KEPT MOIST. PLYWOOD LAID OVER THE TRENCH WILL HELP TO PROTECT ROOTS BELOW.

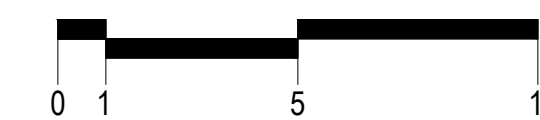
THE REDWOOD #1 SHALL BE DEEP ROOT WATERED WITH 300 GALLONS OF FRESH WATER (NEVER USE RECLAIMED WATER ON REDWOODS). NORMAL IRRIGATION SHOULD BE MAINTAINED THROUGHOUT THE ENTIRE LENGTH OF THE PROJECT. ALL OF THE IMPORTED TREES WILL REQUIRE NORMAL IRRIGATION. IRRIGATION SHOULD CONSIST OF SURFACE FLOODING, WITH ENOUGH WATER TO WET THE ENTIRE ROOT ZONE. IF THE ROOT ZONE IS TRAUMATIZED THIS TYPE OF IRRIGATION SHOULD BE CARRIED OUT TWO TIMES PER MONTH DURING THE WARM DRY SEASON.

THE SITE WILL BE INSPECTED AFTER THE TREE PROTECTION MEASURES ARE INSTALLED AND BEFORE THE START OF CONSTRUCTION. MONTHLY INSPECTIONS ARE REQUIRED FOR SITE SUCH AS THIS. INSPECTIONS WILL BE CARRIED OUT DURING THE FIRST WEEK OF EACH MONTH. THE INSPECTIONS WILL BE DOCUMENTED WITH INSPECTION LETTERS BEING PROVIDED TO THE OWNER, CONTRACTOR AND CITY ARBORIST. OTHER INSPECTIONS WILL BE CARRIED OUT ON AN AS NEEDED BASIS. THE MONTHLY INSPECTIONS ARE REQUIRED BY THE CITY OF PALO ALTO AS A CONDITION OF APPROVAL.



**SITE PLAN**

1/8" = 1'-0"



REVISIONS	BY

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 www.kohler-architects.com

**NEW RESIDENCE FOR:**  
**METE & PINAR YILMAZ**  
 650 GUINDA STREET  
 PALO ALTO, CALIFORNIA

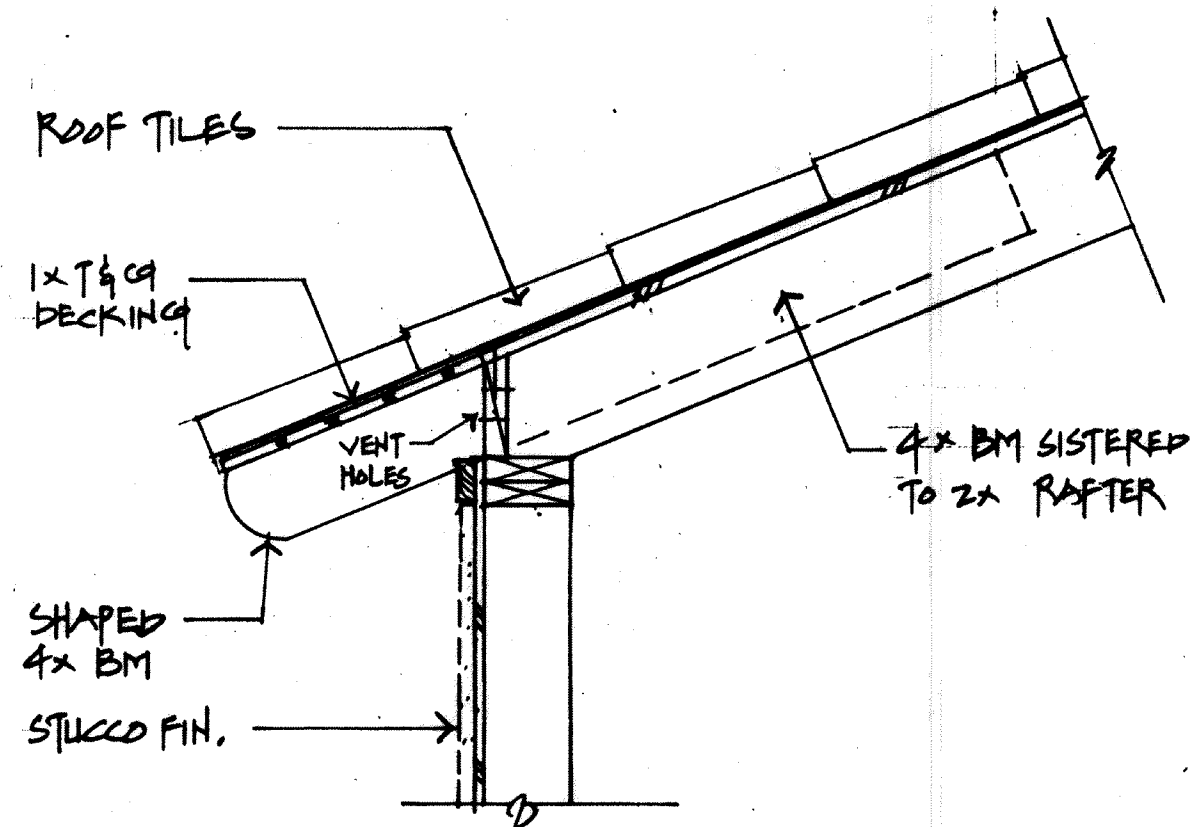
SITE PLAN

DRAWN U.D.
CHECKED
DATE
07.18.15
SCALE
1/8" = 1'-0"
JOB NO.
650 GUINDA ST.
SHEET
<b>A1</b>
OF SHEETS

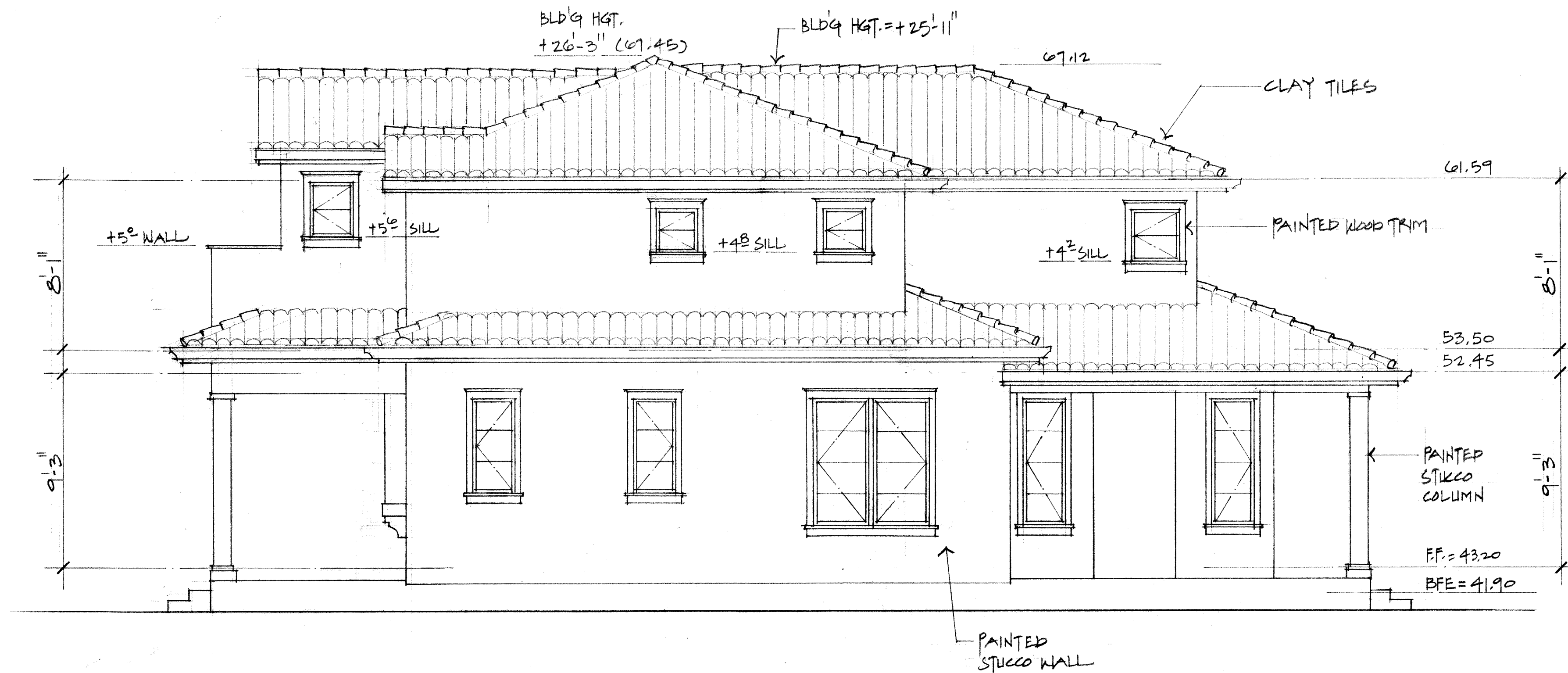


**EXTERIOR FINISH SCHEDULE:**

- ROOF: "S" STYLE CLAY TILES
- EXTERIOR WALLS: PAINTED STUCCO W/ SMOOTH FINISH
- EXTERIOR COLUMNS: PAINTED STUCCO COLUMNS
- EAVES AND TRIM: PAINTED WOOD
- WINDOWS: CLAD WINDOWS W/ CLEAR INSULATED GLASS W/ APPLIED MUNTIN BARS ON BOTH SIDES
- DOORS: CLAD DOORS
- WINDOW SILLS: PAINTED WOOD OR MANUFACTURED LIGHT WEIGHT STONE TRIM
- GUTTER, SHEET METAL: PAINTED SHEET METAL
- RAILING: WROUGHT IRON
- DRIVEWAY, PATIO: CONCRETE PAVERS



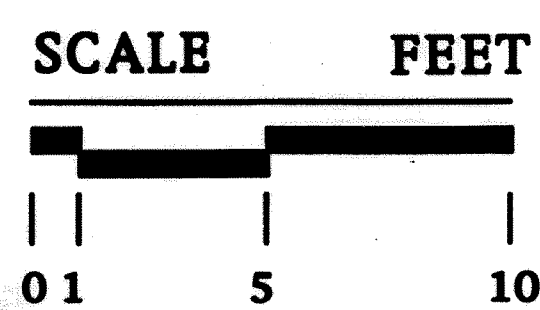
**A EAVE DETAIL**  
1/4" = 1'-0"



**LEFT SIDE ELEVATION**  
1/4" = 1'-0"



**FRONT ELEVATION**  
1/4" = 1'-0"



REVISIONS	BY

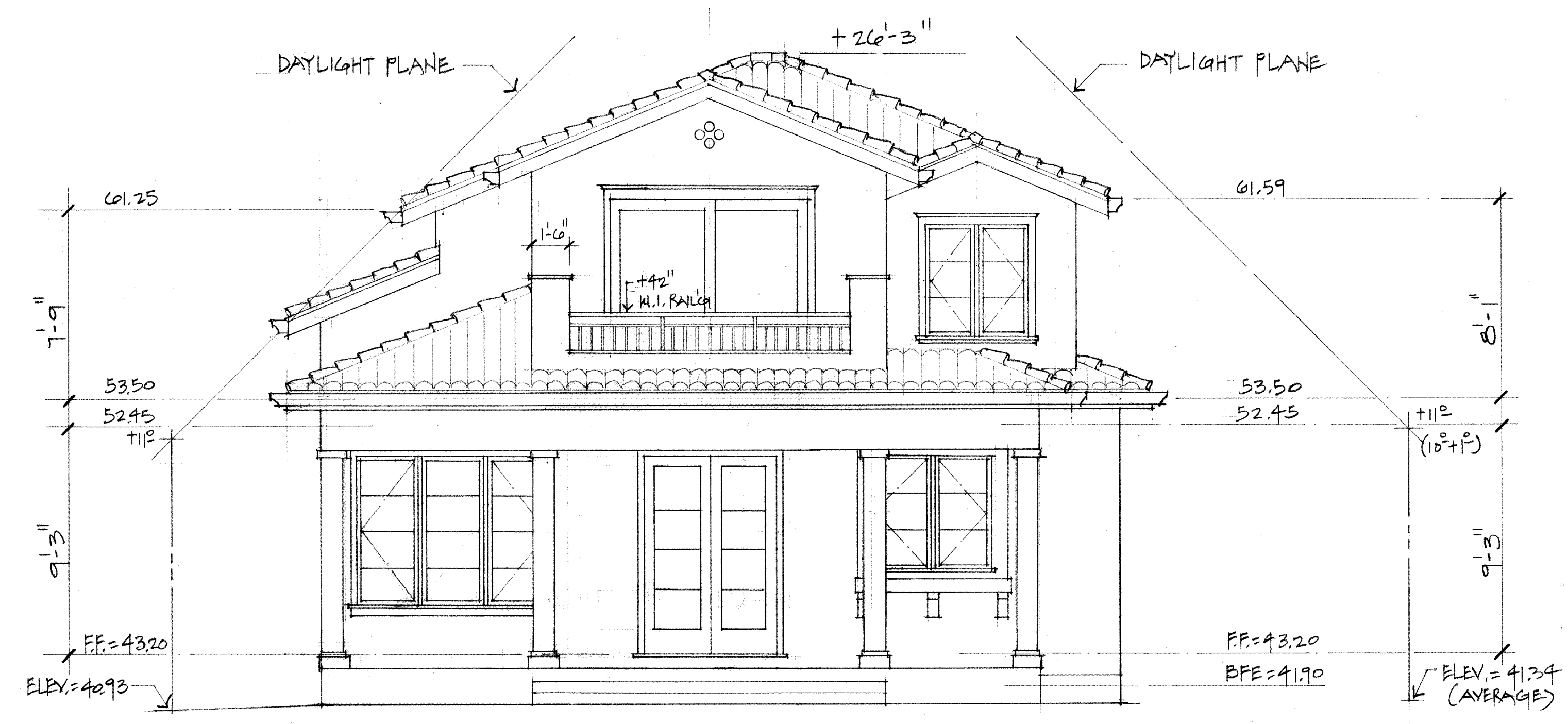
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NEW RESIDENCE FOR:  
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 PALO ALTO, CALIFORNIA

EXTERIOR ELEVATIONS

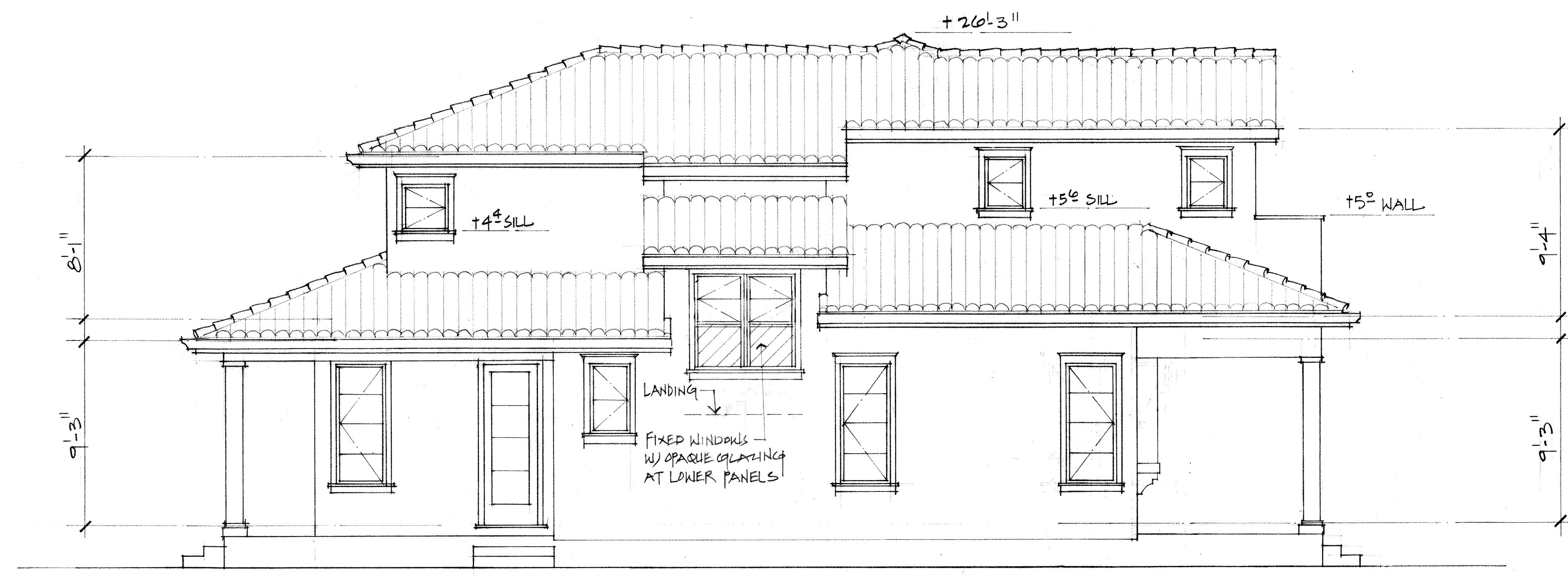
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 DATE 8-17-15  
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 JOB NO. 650 GUINDA  
 SHEET  
**A5**  
 OF SHEETS

REVISIONS	BY



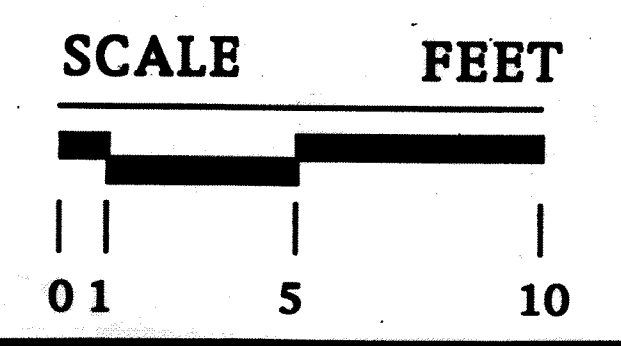
REAR ELEVATION

1/4" = 1'-0"



RIGHT SIDE ELEVATION

1/4" = 1'-0"



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NEW RESIDENCE FOR:  
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PALO ALTO, CALIFORNIA

EXTERIOR ELEVATIONS

DRAWN  
CHECKED  
DATE 8-17-15  
SCALE 1/4" = 1'-0"  
JOB NO. 650 QUINDA  
SHEET

**A6**

OF SHEETS



**YILMAZ  
RESIDENCE**

650 GUINDA STREET  
PALO ALTO, CA  
APN: 005-32-005

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& ASSOCIATES**

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PALO ALTO, CA 94306  
TEL: (650) 823-6466  
FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



ISSUED	No.	Description	Date

DATE: OCT 15, 2014  
SCALE: 1/8"=1'-0"  
DRAWN: BG  
JOB: 10078

SHEET TITLE:

**TOPOGRAPHIC  
SURVEY**

SHEET NO.

**C.0**

**LEGEND:**

- AC ASPHALT CONCRETE
- BC BUILDING CORNER
- BW BACK OF WALK
- CB CATCH BASIN
- CMP CORRUGATED METAL PIPE
- CO CLEAN OUT
- CRN CROWN
- CRW CURB
- EW EDGE OF CONCRETE
- EM ELECTRIC METER
- EP EDGE OF PAVEMENT
- FCOR FENCE CORNER
- FD FOUND
- FF FINISHED FLOOR
- FL FLOW LINE
- FW FIRE HYDRANT
- FR FRONT OF WALK
- GC GARAGE CORNER
- GC GARAGE FACE/FRONT
- GFC GROUND AT FENCE
- GM GAS METER
- HCR HANDICAP RAMP
- INV INVERT
- IP IRON PIPE
- JP JOINT POLE
- LG LIP OF GUTTER
- O/H OVERHEAD
- PC PERCENT CORNER
- PC PERCENT WALL
- SL STREET LIGHT
- SSOO SANITARY SEWER CLEANOUT
- SSMH SANITARY SEWER MANHOLE
- SDMH STORM DRAIN MANHOLE
- TBC TOP BACK ROLLED CURB
- TC TOP OF CURB
- TOD TOP OF BANK
- TOE TOP OF EDGE
- TP TOP OF PAVEMENT
- TRC TOP ROLLED CURB
- TV TOP OF WALK
- U/G UNDERGROUND
- VCP VITRIFIED CLAY PIPE
- WW WATER VALVE
- WM WATER METER BOX
- WV WATER VALVE
- CIV- CABLE TELEVISION LINE
- E- ELECTRICAL LINE
- G- GAS LINE
- SS- SANITARY SEWER LINE
- SD- STORM DRAIN LINE
- T- TELEPHONE LINE
- W- WATER LINE

**BASIS OF BEARINGS:**

THE BEARING, S51°42'00"E, OF THE CENTER LINE OF GUINDA STREET, AS SHOWN ON THAT CERTAIN MAP FILED IN THE OFFICE OF THE PUBLIC WORKS ENGINEER, COUNTY OF SAN MATEO, STATE OF CALIFORNIA, IN BOOK 835 OF MAPS AT PAGE 17, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

**BASIS OF ELEVATION:**

BM 2352, HAMILTON AND GUINDA, C/S N.W. COR N.E. RET. ELEV(NVD29)=38.41, ELEV(NVD088)=41.21, NAVD88 USED IN PLAN

**UTILITY NOTE:**

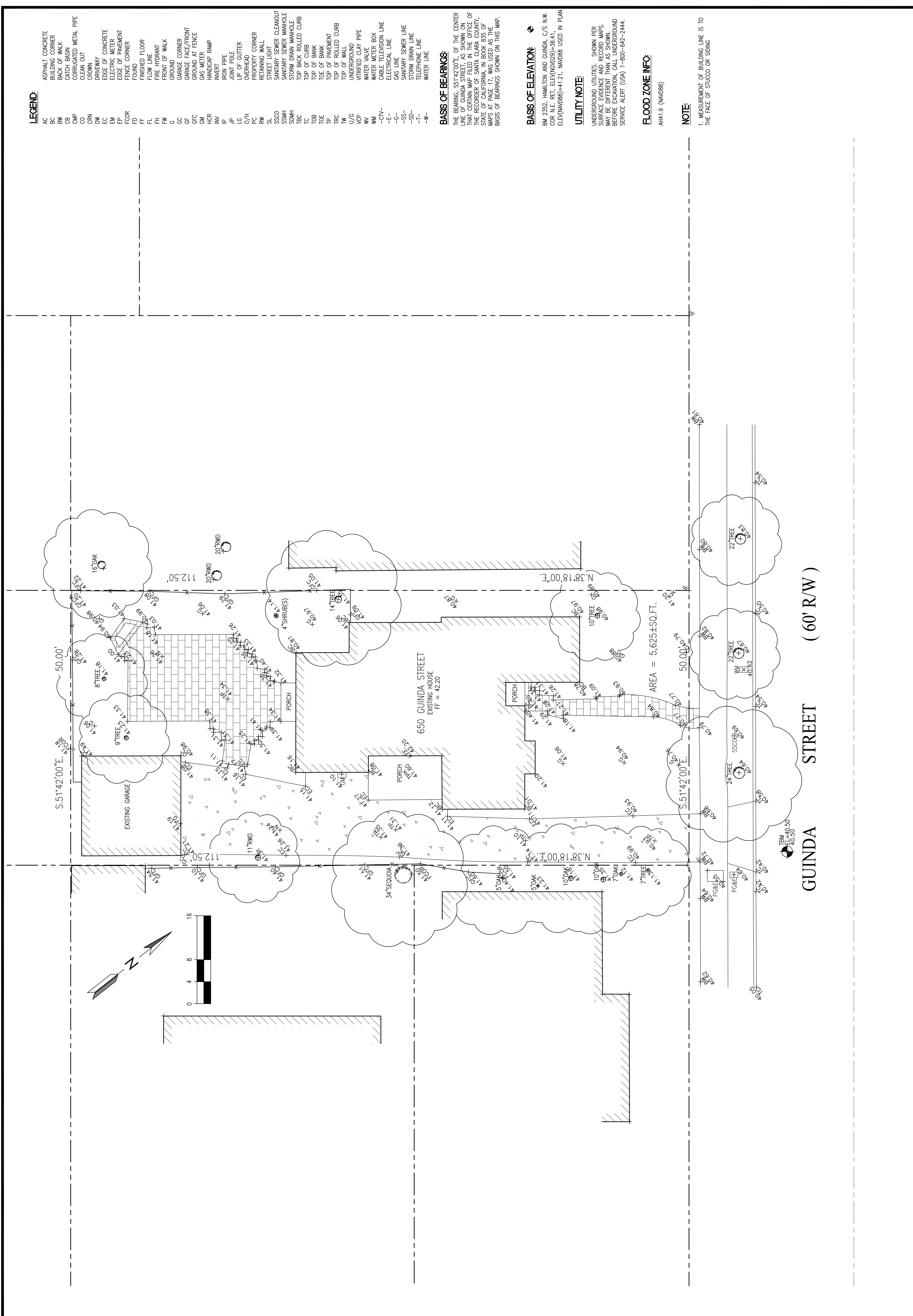
UNDERGROUND UTILITIES, SHOWN PER SURFACE EVIDENCE AND RECORD MAPS, HAVE BEEN LOCATED AND MARKED. BEFORE EXCAVATION, CALL UNDERGROUND SERVICE ALERT (USA) 1-800-442-2444.

**FLOOD ZONE INFO:**

AH41.9 (NVD088)

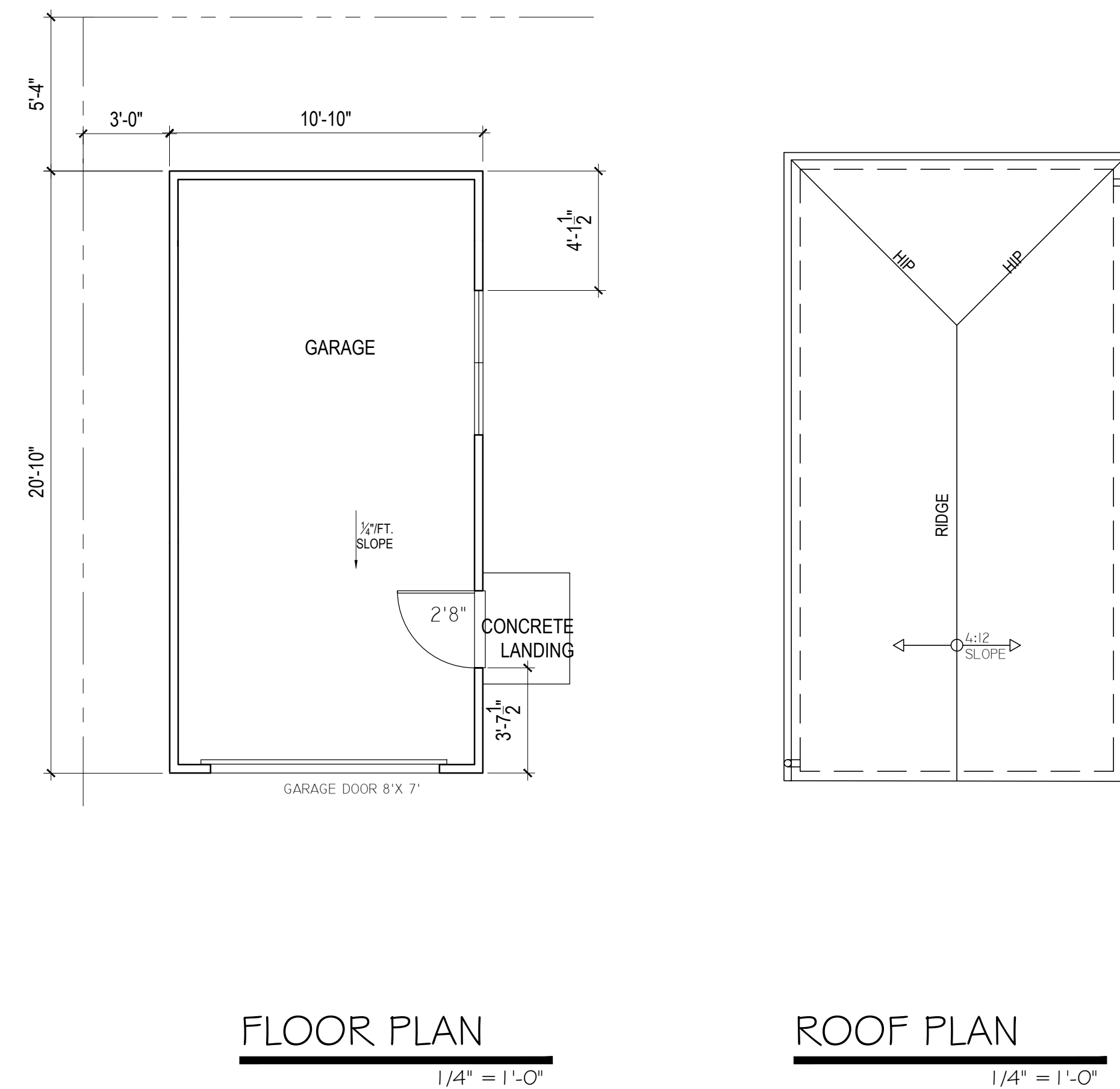
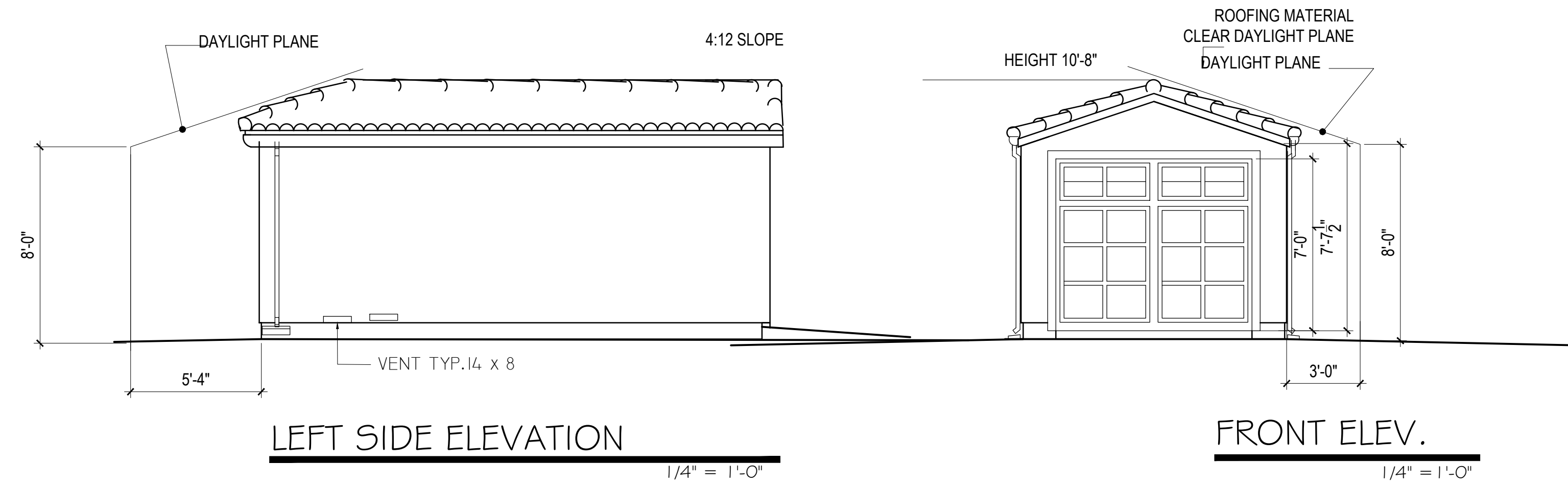
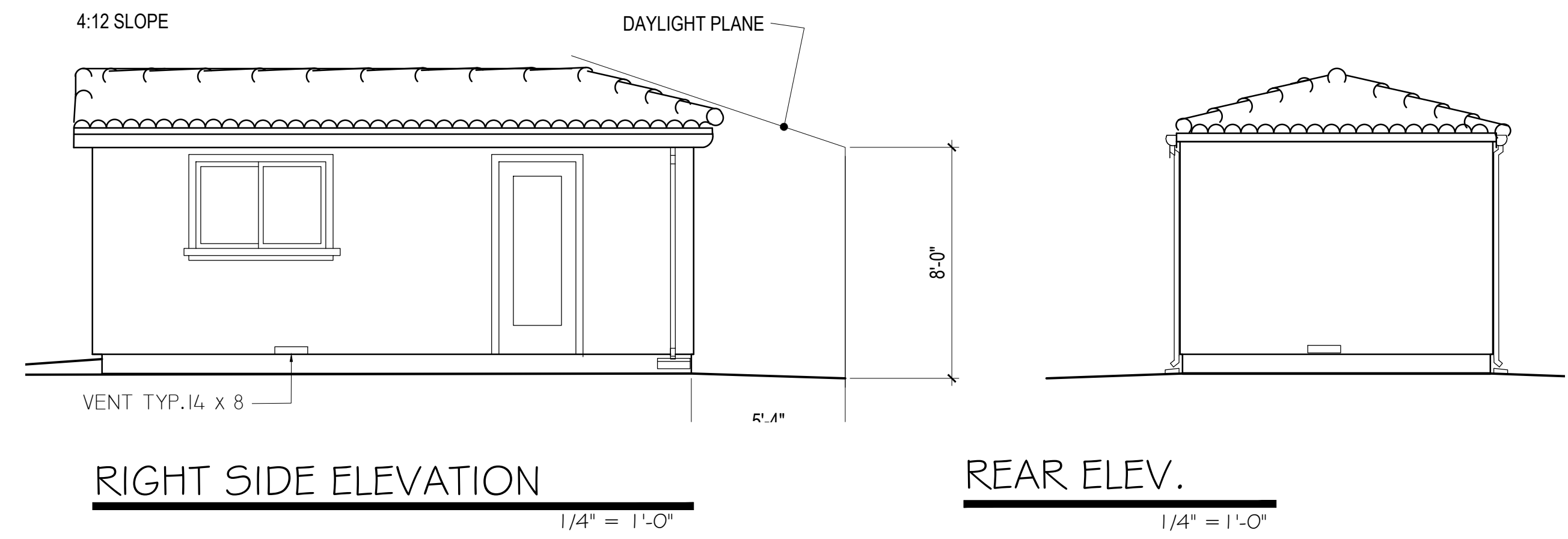
**NOTE:**

1. MEASUREMENT OF BUILDING LINE IS TO THE FACE OF STUCCO OR SIDING



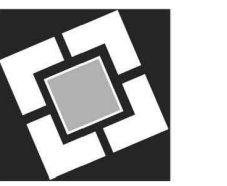
EXTERIOR FINISH SCHEDULE:

ROOF:	"S" STYLE CLAY TILES
EXTERIOR WALLS:	PAINTED STUCCO W/ SMOOTH FINISH
EAVES AND TRIM:	PAINTED WOOD
WINDOWS:	CLAD WINDOWS W/ CLEAR INSULATED GLASS W/ APPLIED MUNTIN BARS ON BOTH SIDES
DOORS:	CLAD DOORS
WINDOW SILLS:	PAINTED WOOD OR MANUFACTURED LIGHT WEIGHT STONE TRIM
GUTTER, SHEET METAL:	PAINTED SHEET METAL
DRIVEWAY, PATIO:	CONCRETE PAVERS



REVISIONS	BY

LICENSED ARCHITECT  
ROGER K KOHLER  
#C7334  
REN: APRIL 2017  
STATE OF CALIFORNIA



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ARCHITECTS

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NEW RESIDENCE FOR:  
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GARAGE PLAN

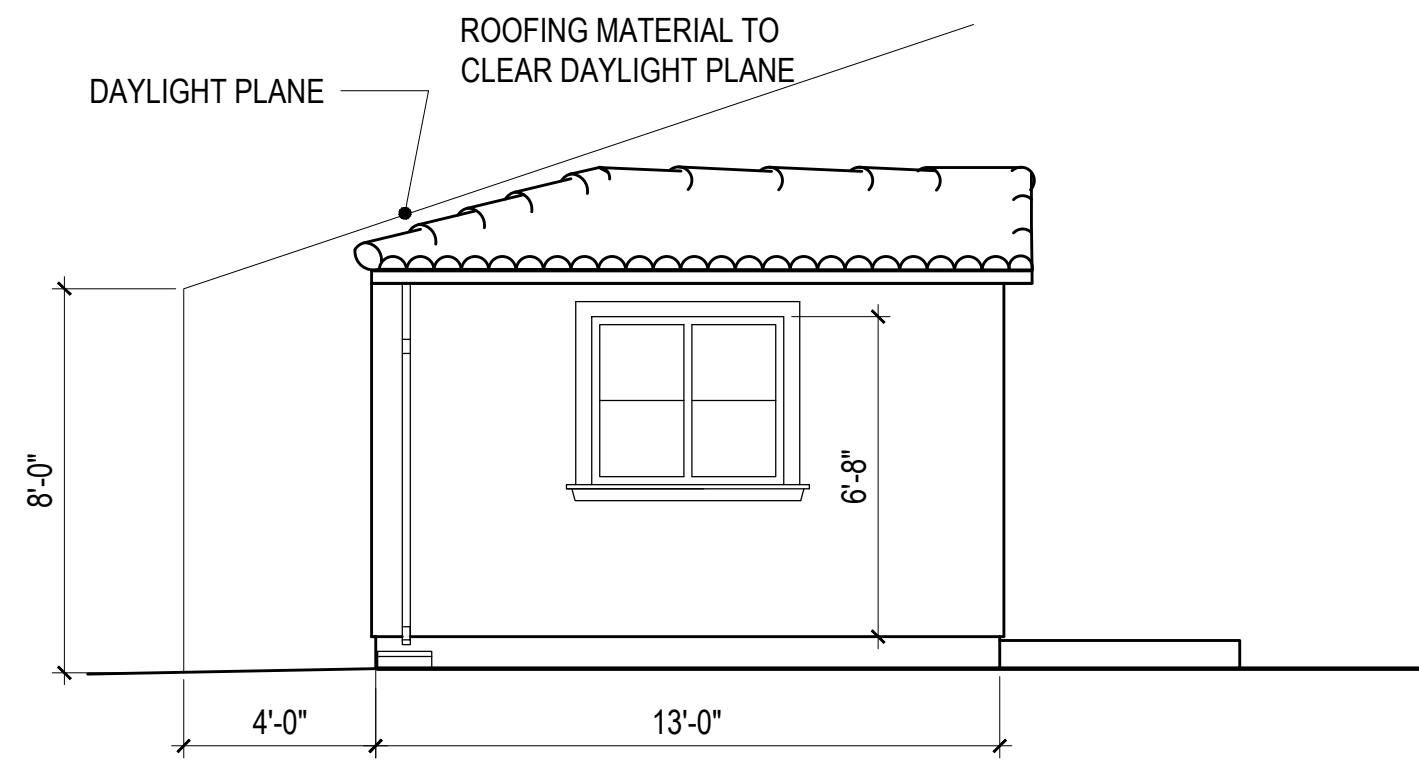
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U.D.  
CHECKED  
DATE  
08.17.15  
SCALE  
1/4" = 1'-0"  
JOB NO.  
650 GUINDA STREET  
SHEET

**G1**

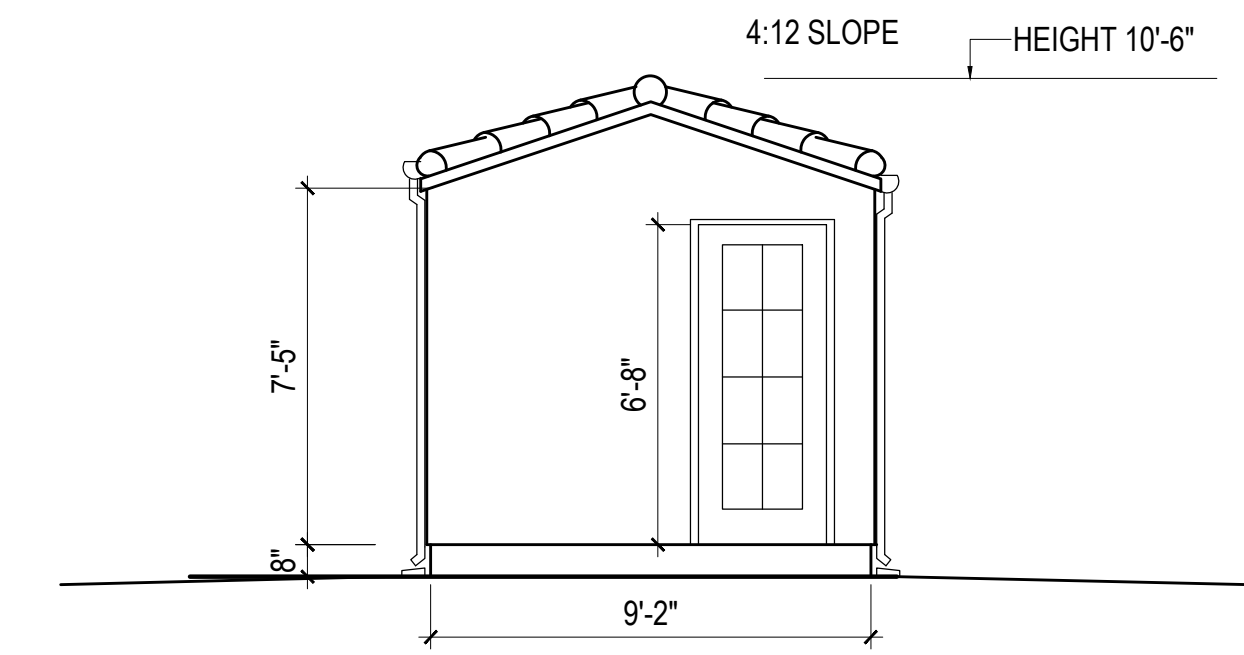
OF SHEETS

EXTERIOR FINISH SCHEDULE:

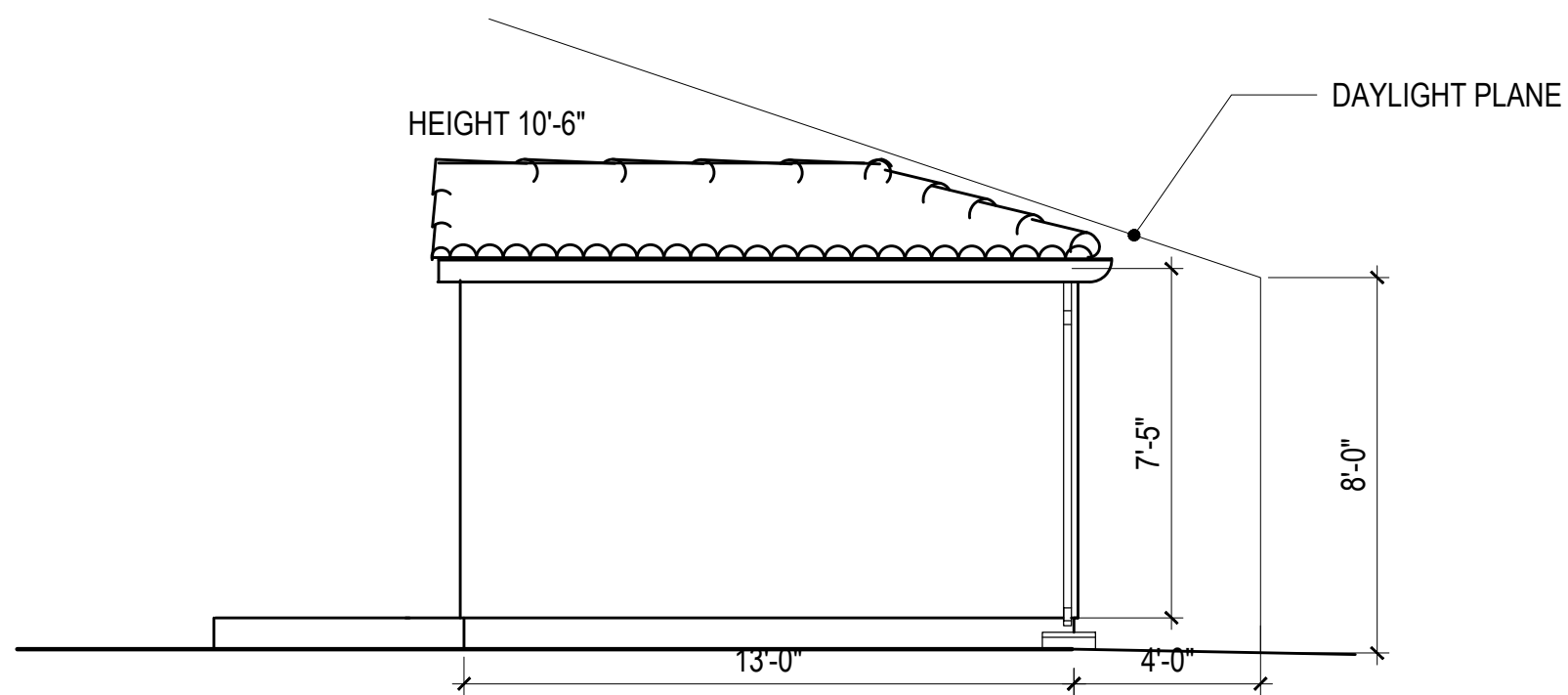
- ROOF: "S" STYLE CLAY TILES
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- EAVES AND TRIM: PAINTED WOOD
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- DOORS: CLAD DOORS
- WINDOW SILLS: PAINTED WOOD OR MANUFACTURED LIGHT WEIGHT STONE TRIM
- GUTTER, SHEET METAL: PAINTED SHEET METAL



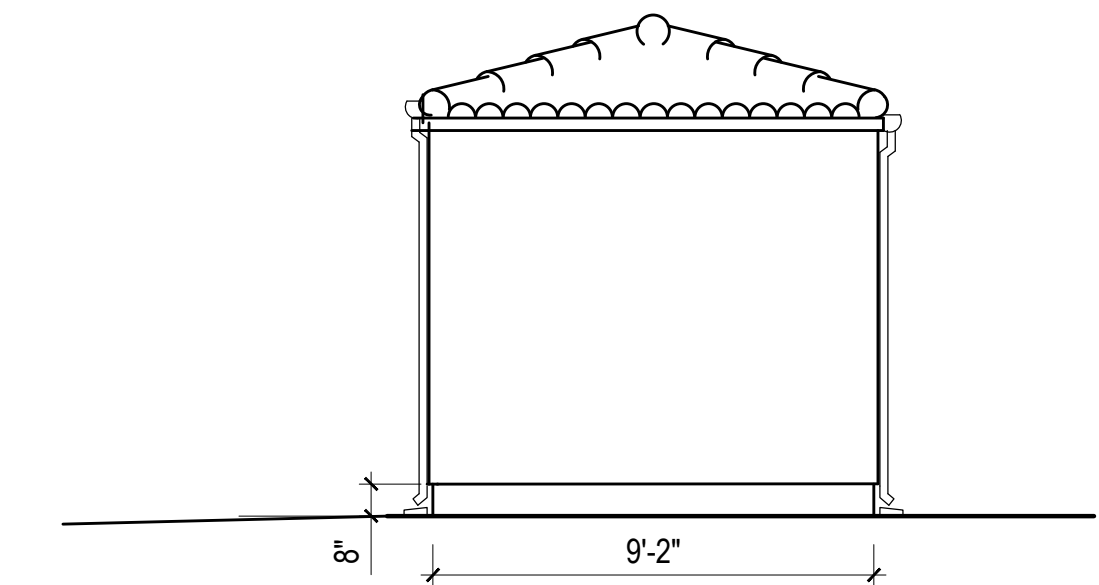
**REAR ELEV.**  
1/4" = 1'-0"



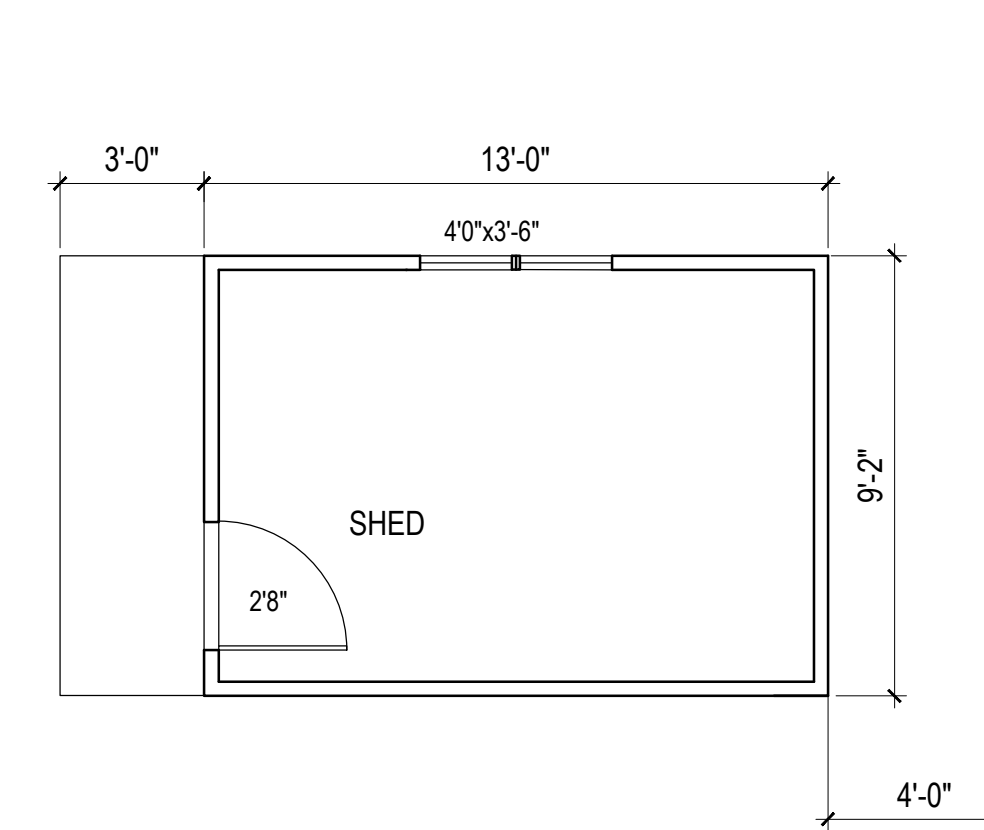
**LEFT SIDE ELEVATION**  
1/4" = 1'-0"



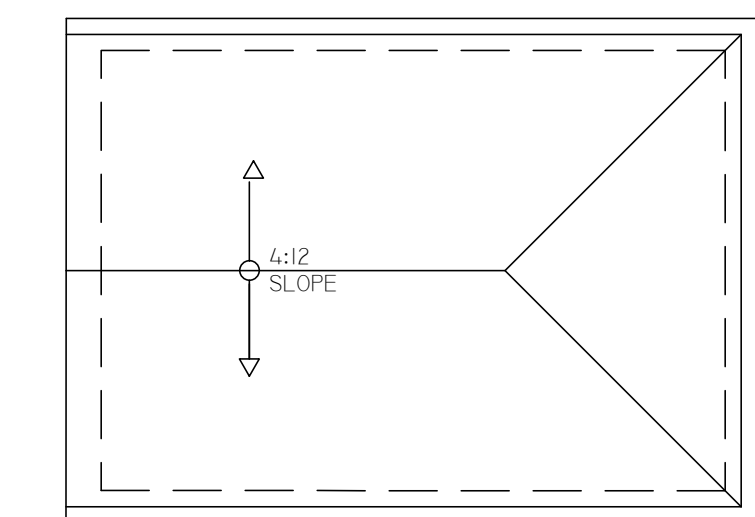
**FRONT ELEV.**  
1/4" = 1'-0"



**RIGHT SIDE ELEVATION**  
1/4" = 1'-0"



**FLOOR PLAN**  
1/4" = 1'-0"



**ROOF PLAN**  
1/4" = 1'-0"

REVISIONS	BY

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ARCHITECTS

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NEW RESIDENCE FOR:  
**METE & PINAR YILMAZ**  
650 GUINDA STREET  
PALO ALTO, CALIFORNIA

SHED PLAN

DRAWN U.D.
CHECKED
DATE 08.17.15
SCALE 1/4" = 1'-0"
JOB NO. 650 GUINDA STREET
SHEET

**SH1**



**YILMAZ  
RESIDENCE**

650 GUINDA STREET  
PALO ALTO, CA  
APN: 005-32-005

**W E C  
& ASSOCIATES**

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PALO ALTO, CA 94306  
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FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



ISSUED	No.	Description	Date

DATE: OCT 15, 2014  
SCALE: 1/8"=1'-0"  
DRAWN: BG  
JOB: 10078

SHEET TITLE:

**TOPOGRAPHIC  
SURVEY**

SHEET NO.

**C.0**

**LEGEND:**

- AC ASPHALT CONCRETE
- BC BUILDING CORNER
- BW BACK OF WALK
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- CMP CORRUGATED METAL PIPE
- CO CLEAN OUT
- CRN CROWN
- CV CONCRETE
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- EP EDGE OF PAVEMENT
- FCOR FENCE CORNER
- FD FINISHED FLOOR
- FL FLOW LINE
- FL FIRE HYDRANT
- FW FRONT OF WALK
- G GROUND CORNER
- GC GARAGE FACE/FRONT
- GFC GROUND AT FENCE
- GM GAS METER
- HCR HANDICAP RAMP
- INV INVERT
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- LG UP OF GUTTER
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- TOD TOP OF BANK
- TDE TOP OF DECK
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- TRC TOP ROLLED CURB
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- U/G UNDERGROUND
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- SD- STORM DRAIN LINE
- T- TELEPHONE LINE
- W- WATER LINE

**BASIS OF BEARINGS:**

THE BEARING, S51°42'00"E, OF THE CENTER LINE OF GUINDA STREET, AS SHOWN ON THAT CERTAIN MAP FILED IN THE OFFICE OF THE COUNTY CLERK OF SANTA CLARA COUNTY, STATE OF CALIFORNIA, IN BOOK 835 OF MAPS AT PAGE 17, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

**BASIS OF ELEVATION:**

BM 2352, HAMILTON AND GUINDA, C/S N.W. COR N.E. RET. ELEV(NVD29)=38.41, ELEV(NVD088)=41.21, NAVD88 USED IN PLAN

**UTILITY NOTE:**

UNDERGROUND UTILITIES - SHOWN PER SURFACE EVIDENCE AND RECORD MAPS. MAKE SURE TO VERIFY ALL UTILITIES BEFORE EXCAVATION. CALL UNDERGROUND SERVICE ALERT (USA) 1-800-642-2444.

**FLOOD ZONE INFO:**

AH41.9 (NVD088)

**NOTE:**

1. MEASUREMENT OF BUILDING LINE IS TO THE FACE OF STUCCO OR SIDING

