



747 TENNYSON AVENUE

1770 FULTON STREET

1766 Fu

1766 FULTON STREET

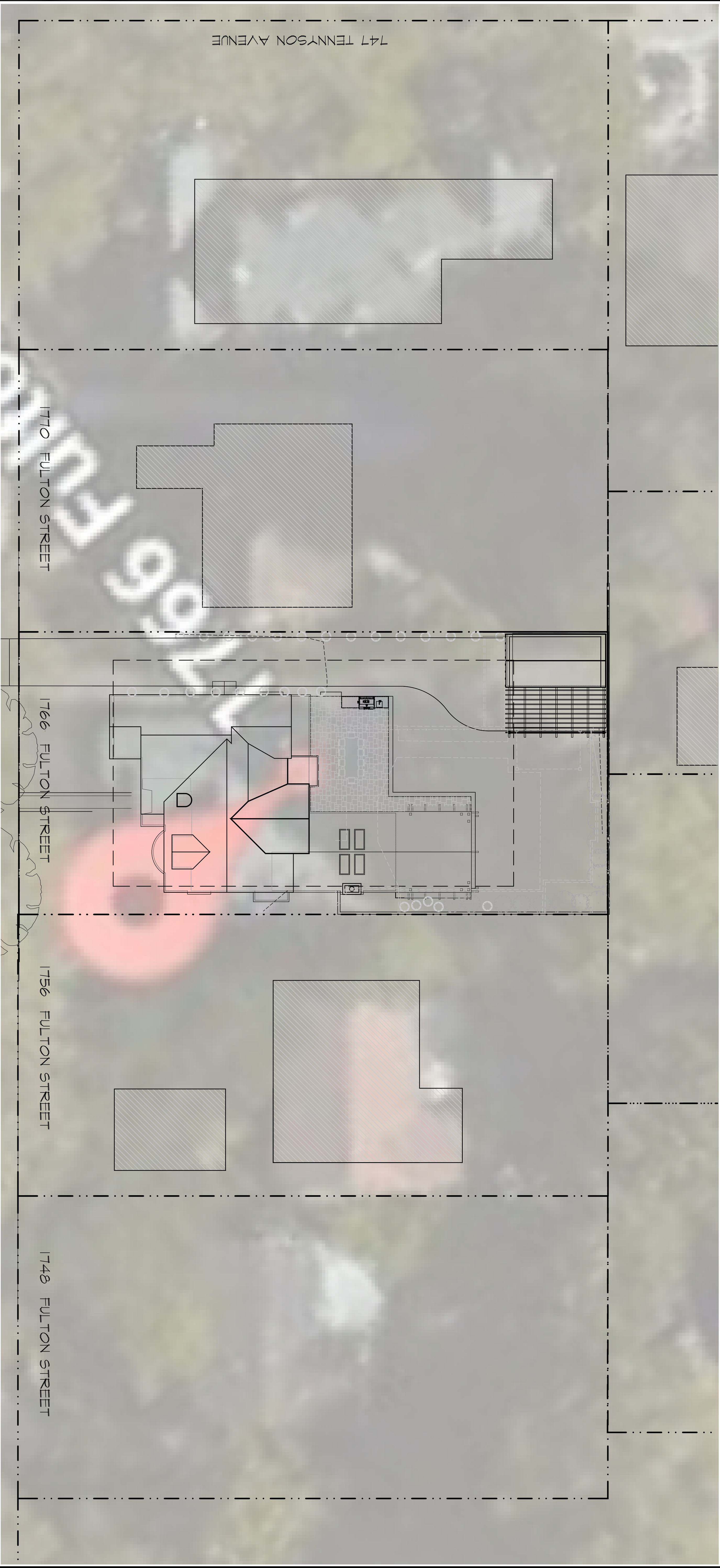
1756 FULTON STREET

1748 FULTON STREET

STREETSCAPE

3/32" = 1'-0"

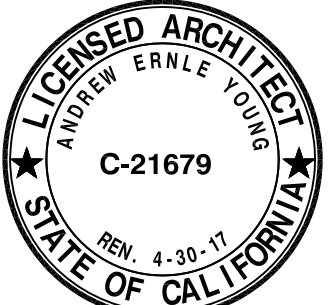
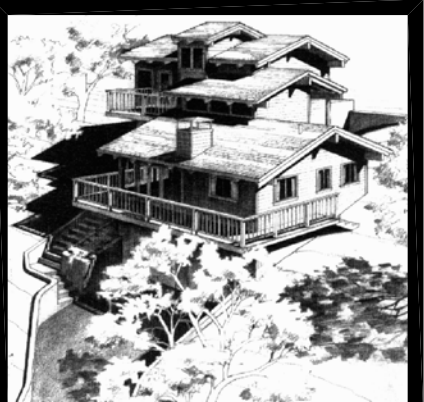
2



NEIGHBORHOOD CONTEXT

3/32" = 1'-0"

1



REMODEL AND ADDITION FOR:
HAITAO & NANCY ZHENG
1766 FULTON STREET
PALO ALTO, CA 94301

A.P. N. 003-58-037
CHECKED BY: A.E.Y.
DATE: JUN 30 2015
JOB #:
DRAWN BY: A.E.Y., CH
ZHENG

A0.2-2

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TREE PROTECTION NOTE
 1. TREE PROTECTION ZONES SHOULD BE ESTABLISHED AND MAINTAINED THROUGHOUT THE ENTIRE LENGTH OF THE PROJECT.

2. FENCING FOR THE PROTECTION ZONES SHOULD BE 6 FOOT TALL METAL CHAIN LINK TYPE SUPPORTED BY 2 INCH METAL TUBES FOUNDED INTO THE GROUND BY NO LESS THAN 2 FEET. THE SUPPORT TUBES SHOULD BE SPACED NO MORE THAN 10 FEET ON CENTER. FENCING SHOULD BE MAINTAINED THROUGHOUT THE PROJECT. FENCING SHOULD BE AS CLOSE TO THE DRAINAGE AS POSSIBLE STILL ALLOWING ROOM FOR CONSTRUCTION TO SAFELY CONTINUE.

3. SIGNS SHOULD BE PLACED ON FENCING SIGNIFYING TREE PROTECTION ZONE - KEEP OUT. NO MATERIALS OR EQUIPMENT SHOULD BE STORED OR CLEANED INSIDE THE TREE PROTECTION ZONES. AREAS OUTSIDE THE FENCING BUT STILL BENEATH THE DRAINAGE OF PROTECTED TREES WHERE FOOT TRAFFIC IS EXPECTED TO BE HEAVY SHOULD BE MULCHED WITH 4 TO 6 INCHES OF CHIPPED CHIPS.

4. THE WOODEN FENCING WILL SUFFICE FOR THE NEIGHBORS TREES.

5. TRENCING FOR IRRIGATION ELECTRICAL, DRAINAGE OR ANY OTHER REASON SHOULD BE HAND DUG WHEN BENEATH THE DRIP LINES OF PROTECTED TREES. HAND DIGGING AND CAREFULLY LAYING PIPES BELOW OR BESIDE PROTECTED ROOTS WILL DRAMATICALLY REDUCE ROOT LOSS OF DESIRED TREES THUS REDUCING TRAVEL TO THE ENTIRE TREE.

6. TRENCHES SHOULD BE BACKFILLED AS SOON AS POSSIBLE WITH NATIVE MATERIAL AND COMPACTED TO NEAR ITS ORIGINAL LEVEL. TRENCHES THAT MUST BE LEFT EXPOSED FOR A PERIOD OF TIME SHOULD ALSO BE COVERED WITH LANDSCAPE MULCH. MULCH SHOULD BE AT LEAST 2 INCHES FIRMWOOD OVER THE TOP OF THE TRENCH WILL ALSO HELP PROTECT EXPOSED ROOTS BELOW.

7. NORMAL IRRIGATION SHOULD BE MAINTAINED THROUGHOUT THE ENTIRE LENGTH OF THE PROJECT. THE IMPACTED TREES ON THIS SITE WILL REQUIRE IRRIGATION DURING THE WARM SEASON MONTHS. SOME IRRIGATION MAY BE REQUIRED DURING THE WINTER MONTHS DEPENDING ON THE SEASONAL RAINFALL. DURING THE SUMMER MONTHS THE TREES ON THIS SITE SHOULD RECEIVE HEAVY FLOOD TYPE IRRIGATION 2 TIMES A MONTH. DURING THE FALL AND WINTER TIME A MONTH SHOULD SUFFICE. INCLUDING THE ROOT ZONE OF PROTECTED TREES SHALL HELP THE SOIL RETAIN MOISTURE, THUS REDUCING WATER CONSUMPTION.

DEMOLITION NOTES:
 1. OUTLINE OF EXISTING HOUSE SHOWN IN BLUE. OUTLINE OF PROPOSED ADDITION SHOWN IN ORANGE.

2. PRIOR TO DEMOLITION WALK THROUGH WITH OWNER AND VERIFY ANY REVISED PLUMBING, ELECTRICAL, FINISHED WINDOWS, DOORS, ETC. TO BE SAVED FOR REUSE OR RELOCATION.

3. VERIFY CITY READ WASTE DIVERSION PROGRAMS FOR DEMOLITION & CONSTRUCTION DEBRIS PRIOR TO DEMOLITION.

4. PROVIDE FENCING AS NECESSARY TO PROTECT UNTOUCHED AREAS DURING CONSTRUCTION.

5. SEE ADDITIONAL DEMOLITION & FLOOR PLAN NOTES ON GENERAL NOTES SHEET A02

6. PRIOR TO DEMOLITION VERIFY COMPLIANCE WITH EPA READ PRACTICES & CERTIFICATION FOR LEAD CONTAMINATION.

7. THE ENVIRONMENTAL PROTECTION AGENCY (EPA) REQUIRES THAT FIRMS PERFORMING RENOVATION, REPAIR AND PAINTING PROJECTS THAT DISTURB LEAD-BASED PAINT IN PRE-1978 HOMES, CHILD CARE FACILITIES AND SCHOOLS BE CERTIFIED BY EPA AND THAT THEY USE CERTIFIED RENOVATORS WHO ARE TRAINED BY EPA-APPROVED TRAINING PROVIDERS TO FOLLOW LEAD-SAFE WORK PRACTICES.

<http://www.epa.gov/lead/pubs/renovation.htm>

8. CONTRACTORS TO PROVIDE ALL WORK IN COMPLIANCE WITH REQUIRED LEAD-SAFE WORK PRACTICES. PROJECT DOCUMENTATION AND PROFESSIONAL CERTIFICATIONS BEFORE EXCAVATION CALL USA.

OWNER AND/OR CONTRACTOR ARE RESPONSIBLE FOR LOCATION & VERIFICATION OF ALL EXISTING UNDERGROUND UTILITIES. UNDERGROUND SERVICE ALERT (USA) SHOULD BE NOTIFIED FOR ASSISTANCE IN THIS MATTER AT (800) 221-2600. 48 HOURS PRIOR TO ANY CONSTRUCTION. THE (USA) AUTHORIZATION NUMBER SHALL BE KEPT AT THE JOB SITE. LOCATION & CHARACTER OF ANY UTILITIES IF SHOWN HEREON ARE APPROXIMATE AND TAKEN FROM A COMBINATION OF SURFACE STRUCTURE OBSERVATION AND/OR THE RECORDS OF THE CONTROLLING AGENCY. OWNERS SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY EXISTING UTILITIES OR OTHER UNDERGROUND FEATURES SUCH AS VALVES, TANKS, BASEMENTS, BURIED OBJECTS, ETC.

CONSTRUCTION STAGE NOTE:

1. REFER TO SHEET A04, PROPOSED SITE PLAN FOR DETAILED SITE IMPROVEMENT INFORMATION.

2. A SIGN SHALL BE POSTED AT THE FRONT OF THE CONSTRUCTION SITE STATING THAT ALL CONSTRUCTION VEHICLES SHALL PARK ON THE CONSTRUCTION SITE IF SPACE IS AVAILABLE BEFORE PARKING ON THE PUBLIC RIGHT OF WAY IN FRONT OF THE SITE.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL ELEMENTS OF THIS PLAN ARE FOLLOWED INCLUDING COMPLIANCE OF CONSTRUCTION PERSONAL PARKING TO THE PARKING PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING PARKING AREAS USED FOR THE CONSTRUCTION SITE ARE MAINTAINED AND KEPT CLEAN AND CLEAR OF LITTER.

4. WATER SHALL BE AVAILABLE ON SITE FOR DUST CONTROL DURING ALL GRADING OPERATIONS.

5. WORK HOURS ARE REGULATED BY NOISE LEVELS CREATED DURING CONSTRUCTION. THE MAXIMUM NOISE LEVELS ALLOWED ARE ESTABLISHED IN THE CITY OF MENLO PARK MUNICIPAL CODE CHAPTER 8.06 NOISE.

6. CONSTRUCTION ACTIVITIES ARE LIMITED TO: 8:00 AM - 6:00 PM MONDAY - FRIDAY.

7. CONSTRUCTION ACTIVITIES BY RESIDENTS ARE PROHIBITED PERSONALLY UNDERTAKING CONSTRUCTION ACTIVITIES TO MAINTAIN OR IMPROVE THEIR PROPERTY ARE ALLOWED ON SATURDAYS, SUNDAYS OR HOLIDAYS BETWEEN 9:00 AM - 5:00 PM.

8. A SIGN CONTAINING THE PERMITTED HOURS OF CONSTRUCTION ACTIVITIES EXCEEDING THE LIMITS SET FORTH IN SECTION 8.06.04(b) SHALL BE POSTED AT ALL ENTRANCES TO A CONSTRUCTION SITE UPON THE COMMENCEMENT OF CONSTRUCTION FOR THE PURPOSE OF INFORMING CONTRACTORS AND SUBCONTRACTORS AND ALL OTHER PERSONS AT THE CONSTRUCTION SITE OF THE BASIC REQUIREMENTS OF THIS CHAPTER. THE SIGN SHALL BE AT LEAST 5' ABOVE GROUND LEVEL AND SHALL CONSIST OF A WHITE BACKGROUND WITH BLACK LETTERS.

9. ALL POWERED EQUIPMENT SHALL COMPLY WITH THE LIMITS SET FORTH IN SECTION 8.06.04(b)

10. ADJACENT PROPERTIES TO RESPECT NEIGHBOR CONCERN FOR SUBCONTRACTORS TO RESPECT NEIGHBOR CONCERN FOR NOISE, PARKING AND MATERIAL/EQUIPMENT STORAGE.

SITE PLAN REQUIREMENTS:

1. THE SITE PLAN SHALL INCLUDE TREE PROTECTION AND INSPECTION SCHEDULE MEASURES. DESIGN RECOMMENDATIONS, MATERIALS AND CONSTRUCTION SCHEDULING SHALL BE IMPLEMENTED IN FULL BY OWNER AND CONTRACTOR AS STATED IN THE TREE PROTECTION REPORT ON SHEET T-1 AND THE APPROVED PLANS.

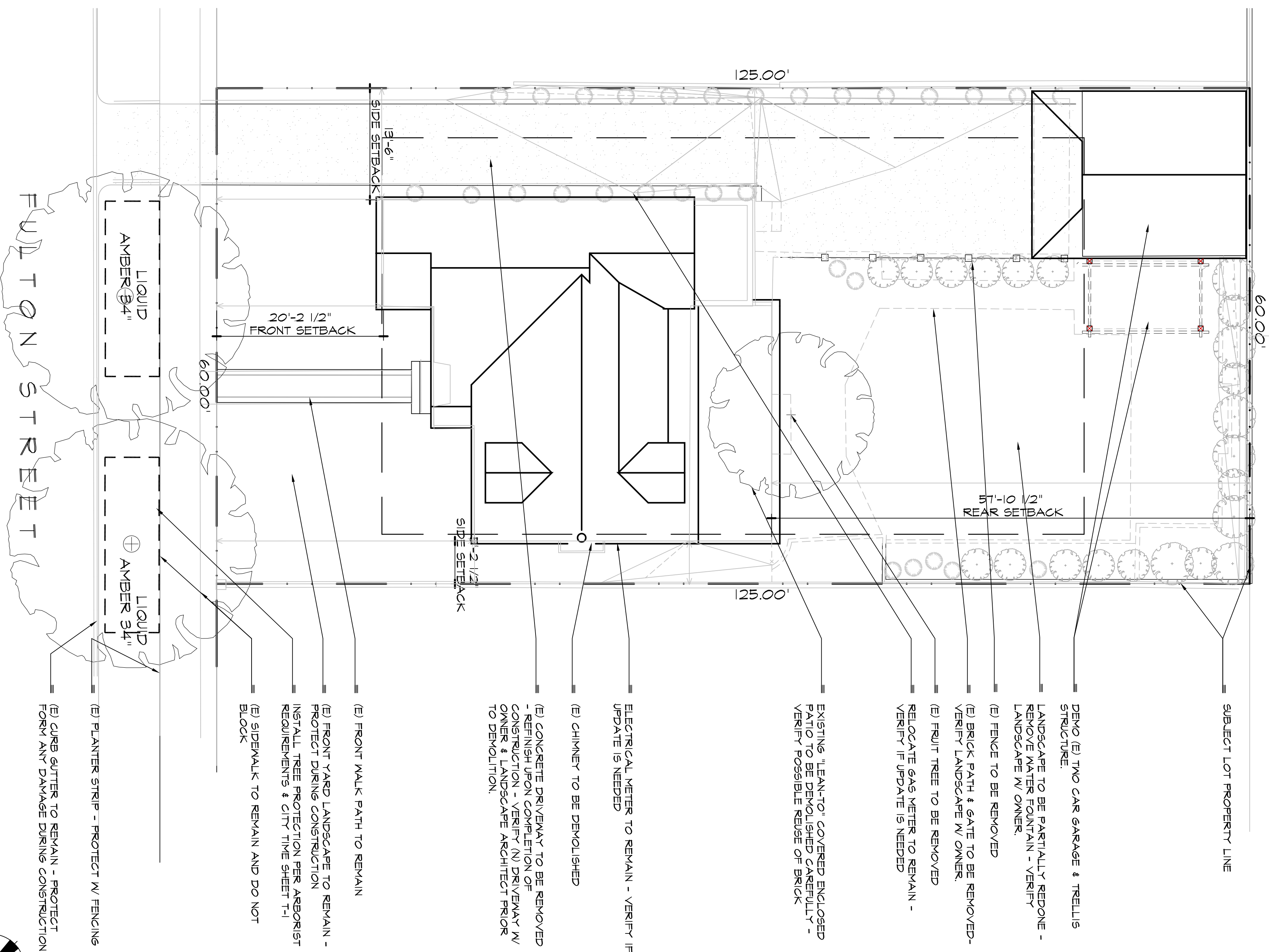
2. ALL CIVIL PLANS, GRADING PLANS, IRRIGATION PLANS, SITE PLANS, UTILITIES PLANS AND RELEVANT SHEETS SHALL INCLUDE A NOTE REFERRING TO THE TREES TO BE PROTECTED, INCLUDING NEIGHBORING TREES, STATING: "REGULATED TREE-BEFORE WORKING IN THIS AREA CONTACT NED PATCHETTI, PROJECT SITE ARBORIST, AT (650) 400-0020 AND 3. ALL UTILITY PLAN SHEETS SHALL INCLUDE THE FOLLOWING NOTE: "UTILITY TRENCHING SHALL NOT OCCUR WITHIN THE TREE PROTECTION ZONE UNLESS THE TRENCHING IS NECESSARY FOR THE INSTALLATION OF UTILITIES WITHIN THE TYP OF THE PROTECTED TREE BY CONTRACTORS, CITY CREWS OR FINAL LANDSCAPE WORKERS. SEE SHEET T-1 AND NOTE ON SITE PLAN FOR INSTRUCTIONS."

TREE PROTECTION VERIFICATION:

PRIOR TO DEMOLITION, GRADING OR BUILDING PERMIT RECORD SHEETS SHALL BE SUBMITTED TO THE CITY ENGINEER'S OFFICE AND THE CITY ENGINEER'S OFFICE SHALL BE SUBMITTED TO THE CITY ENGINEER'S OFFICE. THE RECORD SHEETS SHALL BE SUBMITTED TO THE CITY ENGINEER'S OFFICE INDICATING THAT THE REQUIRED PROTECTIVE FENCING IS IN PLACE AND REMAIN IN PLACE UNTIL FINAL INSPECTION OF THE PROJECT.



(E) "LEAN-TO" COVERED PATIO TO BE DEMOLISHED



EXISTING SITE PLAN W/ DEMOLITION NOTES & TREE PROTECTION NOTES

1/8" = 1'-0"
 1

<p>ISSUE LOG THE SUBMITTAL AUG 28, 2015</p>	<p>YOUNG AND BORLIK ARCHITECTS, INCORPORATED 480 LYTTON AVENUE, SUITE #8 PALO ALTO, CA 94301 TEL: (650) 688-1950 FAX: (650) 323-1112 www.ybarchitects.com</p>	<p>REMODEL AND ADDITION FOR: HAITAO & NANCY ZHENG 1766 FULTON STREET PALO ALTO, CA 94301</p>	<p>APR. N. 003-56-037 CHECKED AVEY DATE JUN 30 2015 JOB # ZHENG</p>	<p> </p>	<p> </p>
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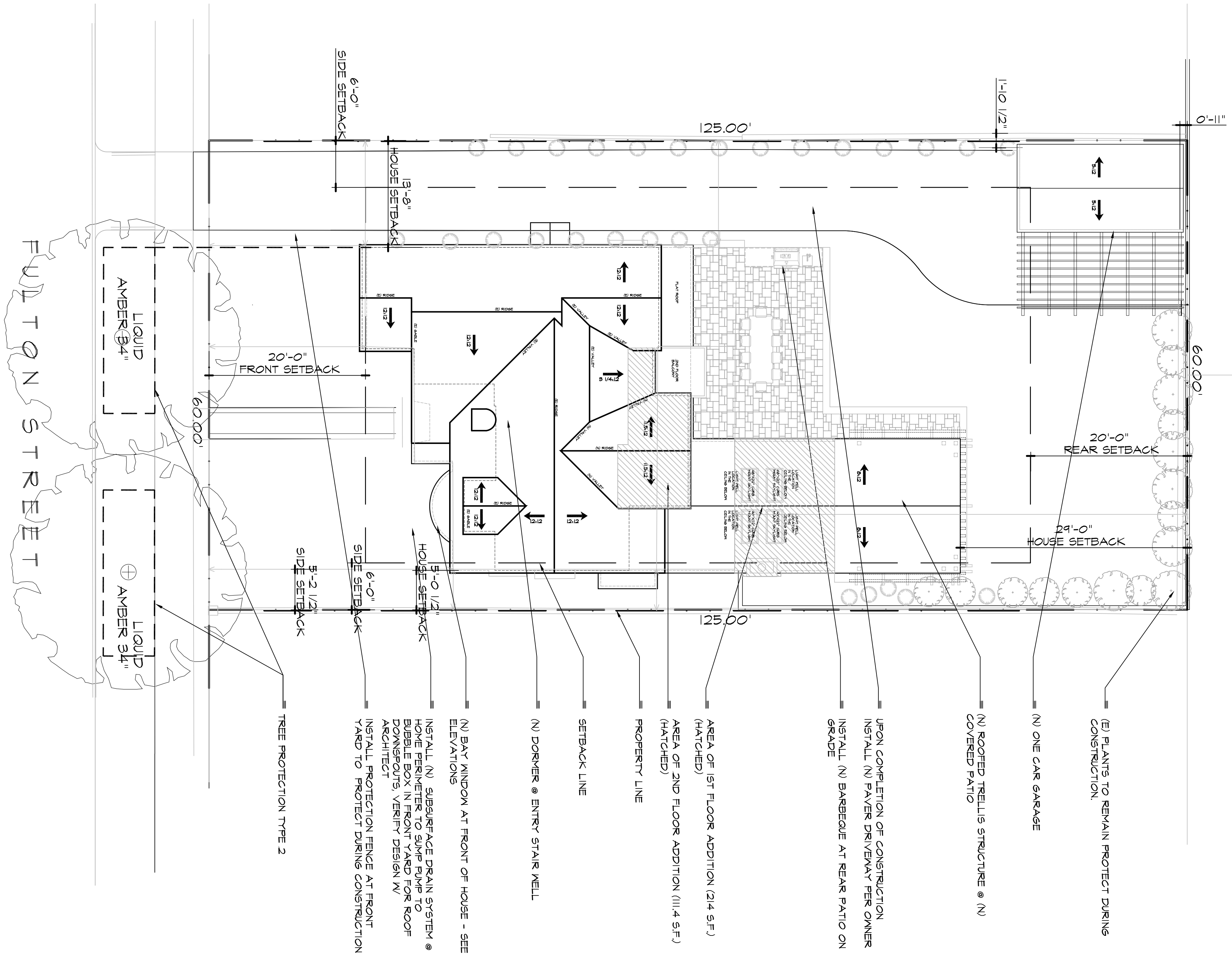
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NOTE:
IT IS UNLAWFUL FOR ANY PERSON TO DAMAGE OR HARM A HERITAGE TREE BY ANY MEANS WHATSOEVER INCLUDING WITHOUT LIMITATION VEHICLES MACHINERY OR BUILDING SUPPLIES OR MATERIAL (INCLUDING FLUIDS) DURING ANY CONSTRUCTION OR RENOVATION OF STRUCTURES ON THE PARCEL.

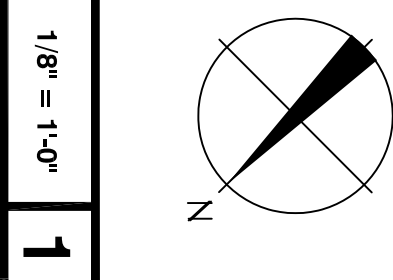
NOTE:
CONTRACTOR SHALL VERIFY W/ ARCHITECT & OWNER IN FIELD THE FINAL LOCATIONS FOR ALL THE CONSTRUCTION STAGING (JOB TRAILER, DEBRIS BOX, MATERIALS STORAGE, EXCAVATIONS & CONSTRUCTION).

NOTES:

CONTRACTOR TO REGULARLY REVIEW AND MAINTAIN AS NEEDED THE FUNCTIONAL CONDITION OF SITE PROTECTION INCLUDING TREE FENCING, LANDSCAPE MULCHING AND OTHER MEASURES TAKEN TO MINIMIZE THE IMPACTS OF THE CONSTRUCTION ON EXISTING FEATURES OF THE SITE.
WHERE ACCESSIBLE, CLEAN OUT AREA DRAINS, FLUSH AND REMOVE DEBRIS AS REQUIRED. PROTECT EXISTING DRAINS FROM SEEPAGE AND DEBRIS DURING CONSTRUCTION. AT COMPLETION, CONNECT EXISTING AND NEW DOWNSPOUTS TO EXISTING SUB-DRAINS, OPERATE SYSTEM AND CHECK FOR COMPONENTS IN NEED OF REPAIR OR REPLACEMENT. THE EXISTING DRAINAGE SYSTEM MUST BE CHECKED TO ENSURE THAT THE PIPES ARE OPEN AND FREE-FLOWING PRIOR TO CONNECTING THE NEW DOWNSPOUTS INTO THESE PIPE LINES.
WHERE POSSIBLE, IDENTIFY HARBORSCAPE FEATURES TO BE RETAINED AND OWNER PRIOR TO THE DEMOLITION, EXCAVATION AND CONSTRUCTION. PRIOR TO THE DEMOLITION AND EXCAVATION, DRIVEWAY CURB AND BRICK LIGHTING TO BE REVIEWED AND DISCUSSED. NOTE SITE ACCESS MAY REQUIRE REMOVAL OF PORTIONS OF EXISTING CONCRETE CURB OR ALTERNATIVELY, CONSIDER WOOD BLOCKING AND PLYWOOD RAMPING.
CONTRACTOR SHALL NOT STAGE, STORE, OR STOCKPILE ANY MATERIAL OR EQUIPMENT WITHIN THE PUBLIC ROAD RIGHT OF WAY.



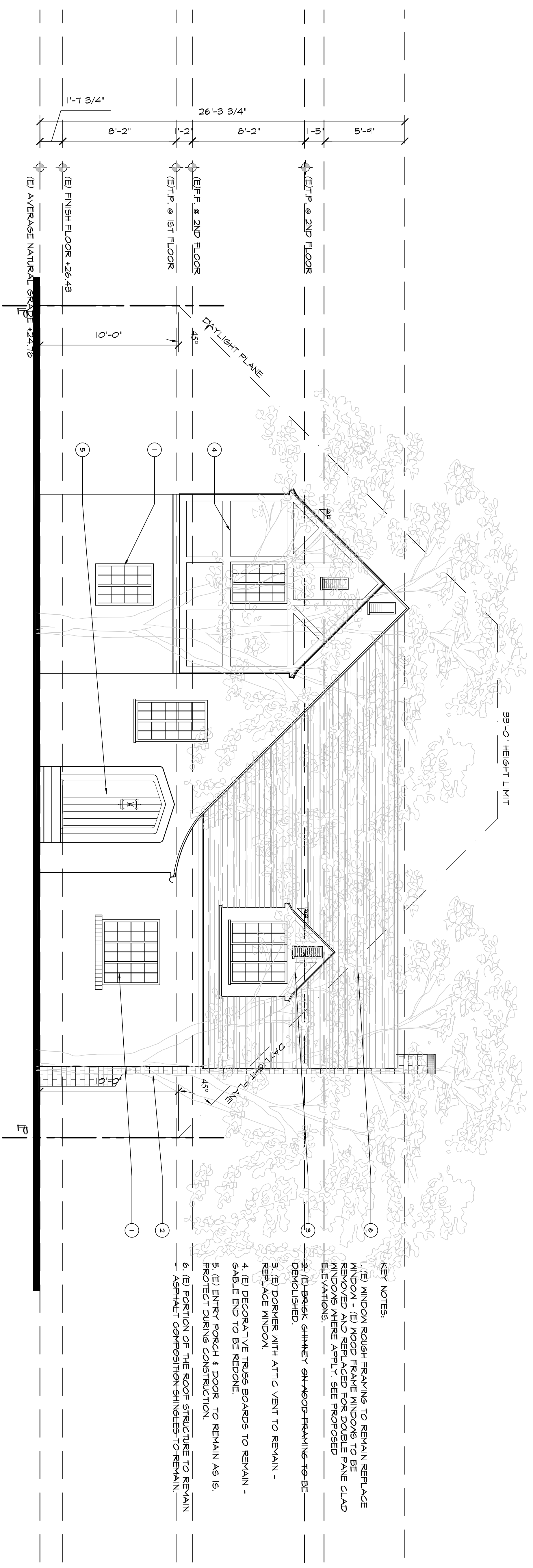
PROPOSED SITE PLAN & TREE PROTECTION NOTES



<p>ISSUE LOG</p> <p>HIE SUBMITTAL</p> <p>AUG 28, 2015</p>		<p>YOUNG AND BORLIK</p> <p>ARCHITECTS, INCORPORATED</p> <p>480 LYTTON AVENUE, SUITE #8 PALO ALTO, CA 94301</p> <p>TEL: (650) 688-1950 FAX: (650) 323-1112 www.ybarchitects.com</p>	
<p>REMODEL AND ADDITION FOR:</p> <p>HAITAO & NANCY ZHENG</p> <p>1766 FULTON STREET</p> <p>PALO ALTO, CA 94301</p>		<p>LICENSED ARCHITECT</p> <p>ANDREW EARLE YOUNG</p> <p>C-21679</p> <p>STATE OF CALIFORNIA</p>	
<p>AP# N. 003-58-037</p> <p>CHECKED A.E.Y.</p> <p>DATE JUN 30 2015</p> <p>JOB # ZHENG</p>		<p>INSTALL (N) BAY WINDOW AT FRONT OF HOUSE - SEE ELEVATIONS</p> <p>INSTALL (N) SUBSURFACE DRAIN SYSTEM @ HOME PERIMETER TO SUMP PUMP TO BUBBLE BOX IN FRONT YARD FOR ROOF DOWNSPOUTS. VERIFY DESIGN W/ ARCHITECT</p> <p>INSTALL PROTECTION FENCE AT FRONT YARD TO PROTECT DURING CONSTRUCTION</p> <p>(N) DORMER @ ENTRY STAIR WELL</p> <p>SETBACK LINE</p> <p>PROPERTY LINE</p> <p>AREA OF 1ST FLOOR ADDITION (214 S.F.) (HATCHED)</p> <p>AREA OF 2ND FLOOR ADDITION (111.4 S.F.) (HATCHED)</p> <p>UPON COMPLETION OF CONSTRUCTION INSTALL (N) PAVED DRIVEWAY PER OWNER</p> <p>INSTALL (N) BARBEQUE AT REAR PATIO ON GRADE</p> <p>(N) ROOTED TRELLIS STRUCTURE @ (N) COVERED PATIO</p> <p>(N) ONE CAR GARAGE</p> <p>(E) PLANTS TO REMAIN PROTECT DURING CONSTRUCTION.</p>	

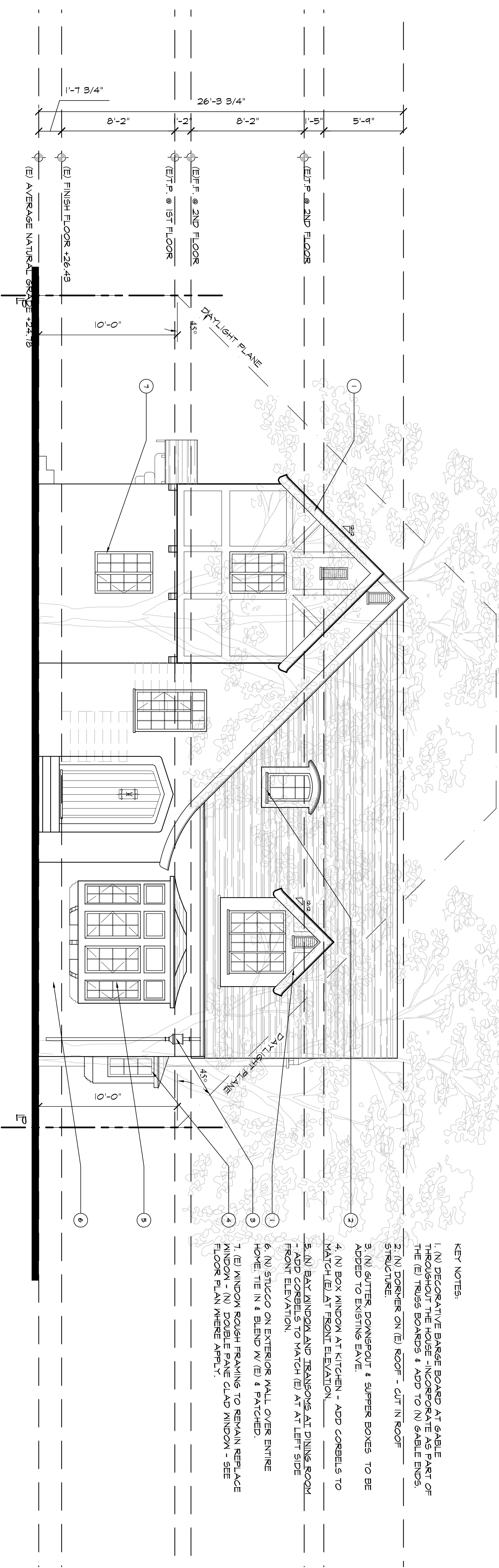
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A0.4



EXISTING FRONT ELEVATION

1/8" = 1'-0"
2



PROPOSED FRONT ELEVATION

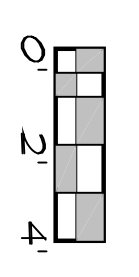
1/8" = 1'-0"
1

KEY NOTES:

1. (E) WINDOW ROUGH FRAMING TO REMAIN. REPLACE WINDOW (E) WINDOW FRAME WINDOW TO BE REMOVED AND REPLACED FOR DOUBLE PANE CLAD WINDOWS WHERE APPLICABLE. SEE PROPOSED ELEVATIONS.
2. (E) BRICK CHIMNEY ON WOOD-FRAMING TO BE DEMOLISHED.
3. (E) DORMER WITH ATTIC VENT TO REMAIN - REPLACE WINDOW.
4. (E) DECORATIVE TRUSS BOARDS TO REMAIN - GABLE END TO BE REDONE.
5. (E) ENTRY PORCH & DOOR TO REMAIN AS IS. PROTECT DURING CONSTRUCTION.
6. (E) PORTION OF THE ROOF STRUCTURE TO REMAIN - ASPHALT COMPOSITION SHINGLES TO REMAIN.

KEY NOTES:

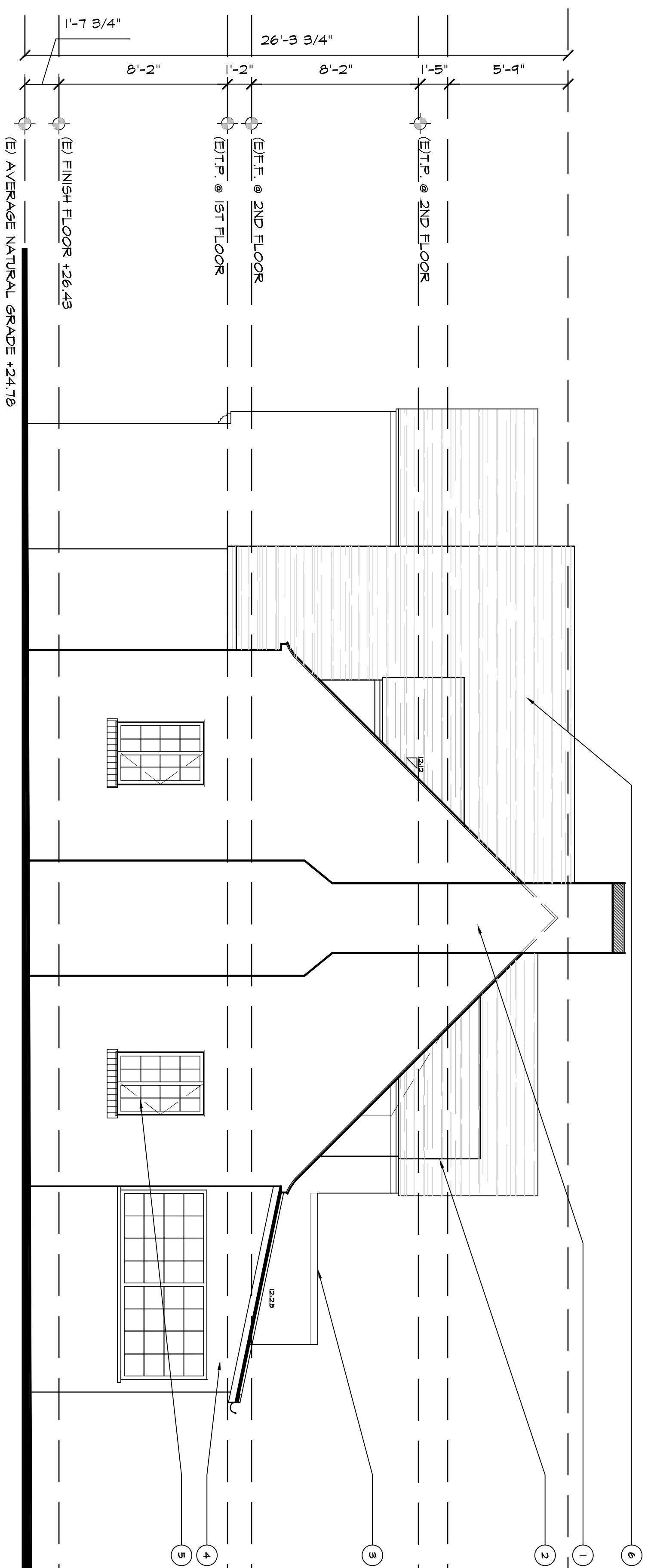
1. (N) DECORATIVE BARGE BOARD AT GABLE THROUGHOUT THE HOUSE - INCORPORATE AS PART OF THE (E) TRUSS BOARDS & ADD TO (N) GABLE ENDS.
2. (N) DORMER ON (E) ROOF - CUT IN ROOF STRUCTURE.
3. (N) SHUTTER, DOWNPOUT & SUTPER BOXES TO BE ADDED TO EXISTING EAVE.
4. (N) BOX WINDOW AT KITCHEN - ADD CORBELS TO MATCH (E) AT FRONT ELEVATION.
5. (N) BAY WINDOW AND TRANSOM AT DINING ROOM - ADD CORBELS TO MATCH (E) AT LEFT SIDE FRONT ELEVATION.
6. (N) STUCCO ON EXTERIOR WALL OVER ENTIRE HOUSE. TIE IN & BLEND W/ (E) & PATCHED.
7. (E) WINDOW ROUGH FRAMING TO REMAIN. REPLACE WINDOW - (N) DOUBLE PANE CLAD WINDOW - SEE FLOOR PLAN WHERE APPLICABLE.



<p>A3.1</p>	<p>REMODEL AND ADDITION FOR: HAITAO & NANCY ZHENG 1766 FULTON STREET PALO ALTO, CA 94301</p>			<p>YOUNG AND BORLIK ARCHITECTS, INCORPORATED</p> <p>480 LYTTON AVENUE, SUITE #8 PALO ALTO, CA 94301 TEL: (650) 688-1950 FAX: (650) 323-1112 www.ybarchitects.com</p>
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A.P.N. 003-58-037	DATE JUN 30 2015
CHECKED A.E.Y.	DRAWN A.E.Y./C.H.
JOB # ZHENG	

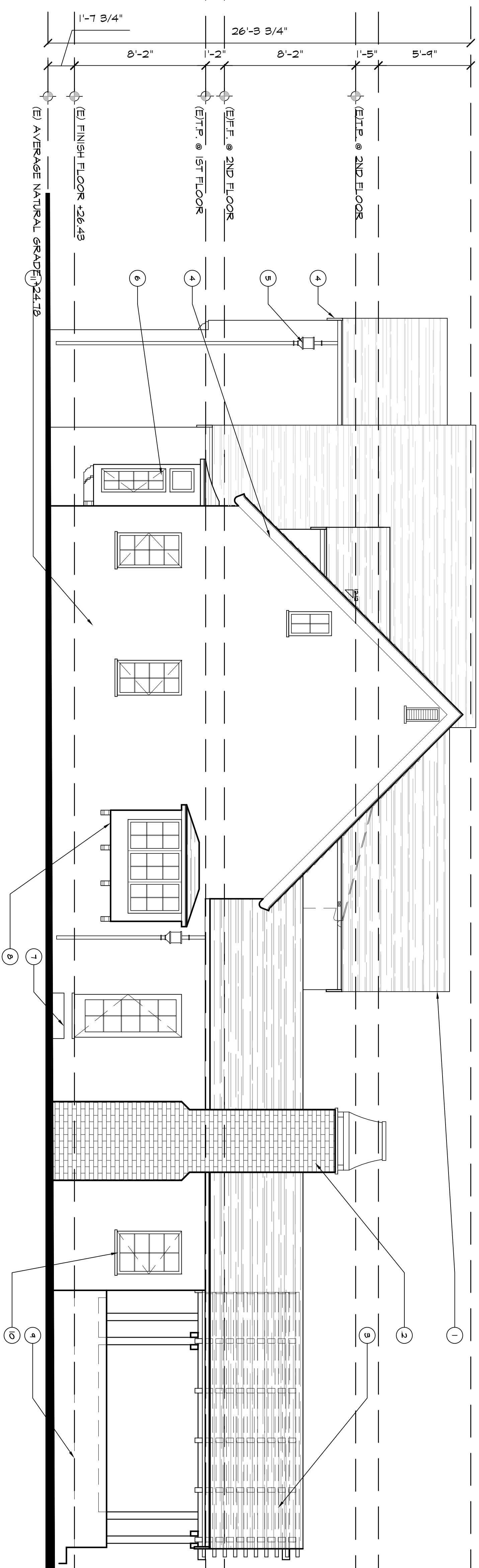
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- KEY NOTES:
1. (E) BRICK CHIMNEY ON MOOD FRAMING TO BE DEMOLISHED.
 2. (E) PORNER TO BE REMOVED FOR ADDITION AT MASTER SUITE.
 3. (E) BALCONY TO BE REMOVED.
 4. (E) SUNROOM TO BE REMOVED COMPLETELY.
 5. (E) MOOD FRAME WINDOWS TO BE REMOVED - REFRAVE WHERE APPLY. SEE PROPOSED ELEVATIONS.
 6. (E) PORTION OF THE ROOF STRUCTURE TO REMAIN - ASPHALT COMPOSITION SHINGLES TO REMAIN.

EXISTING RIGHT SIDE ELEVATION

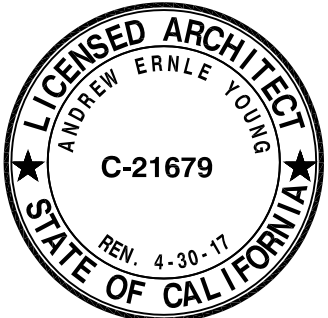
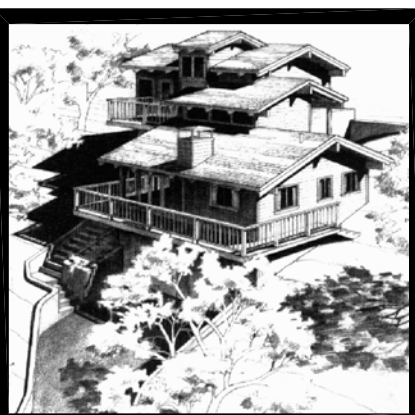
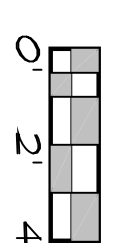
1/4" = 1'-0"
2

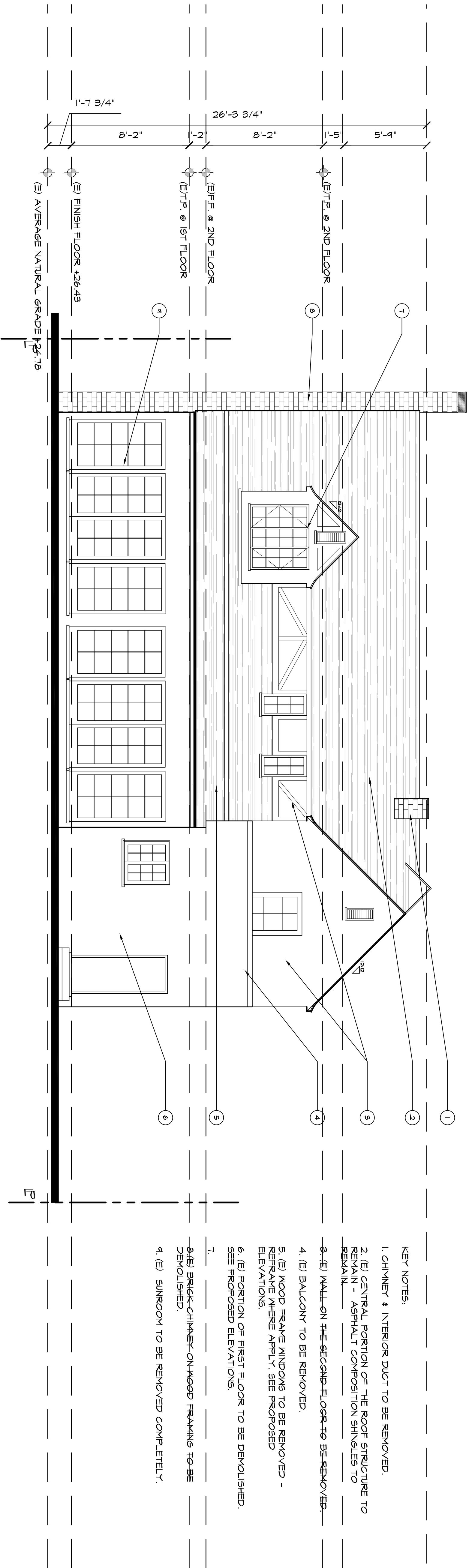


- KEY NOTES:
1. (N) PORTION ADDED TO MASTER SUITE - MATCH GABLE - ROOF PITCH 12:11.5 - SEE PROPOSED REAR ELEVATION
 2. (N) BRICK CHIMNEY TO MATCH (E) STYLE BRICK CHIMNEY.
 3. (N) COVERED PORCH AT REAR W/ BUILT-IN BENCH - ROOF TO CONTINUE ADDED PORTION OF THE HOUSE AT FAMILY ROOM. SEE FLOOR PLAN FOR TRUSS SYSTEM.
 4. (N) PRE-EXISTING BARGE BOARD AT GABLE THROUGHOUT THE HOUSE - INCORPORATE AS PART OF THE (E) TRUSS BOARDS & ADD TO (N) GABLE ENDS.
 5. (N) SLITTER, DOWNPOUT & SUFFER BOXES TO BE ADDED TO EXISTING EAVE.
 6. (N) BAY WINDOW AND TRANSOMS AT DINING ROOM - ADD CORBELS TO MATCH (E) AT LEFT SIDE FRONT ELEVATION.
 7. (N) EXTERIOR DOOR AT KITCHEN - PROVIDE LANDING. FOLLOW REQUIREMENTS PER A21.
 8. (N) BOX WINDOW AT KITCHEN - ADD CORBELS TO MATCH (E) AT FRONT ELEVATION.
 9. BUILT-IN BENCH @ (N) COVERED PORCH AT REAR
 10. (N) DOUBLE PANE CLAD WINDOWS THROUGHOUT ENTIRE HOME. MATCH (E) STUCCO DETAILS.
 11. (N) STUCCO ON EXTERIOR WALL OVER ENTIRE HOME. TIE IN & BLEND W/ (E) & PATCHED.

PROPOSED RIGHT SIDE ELEVATION

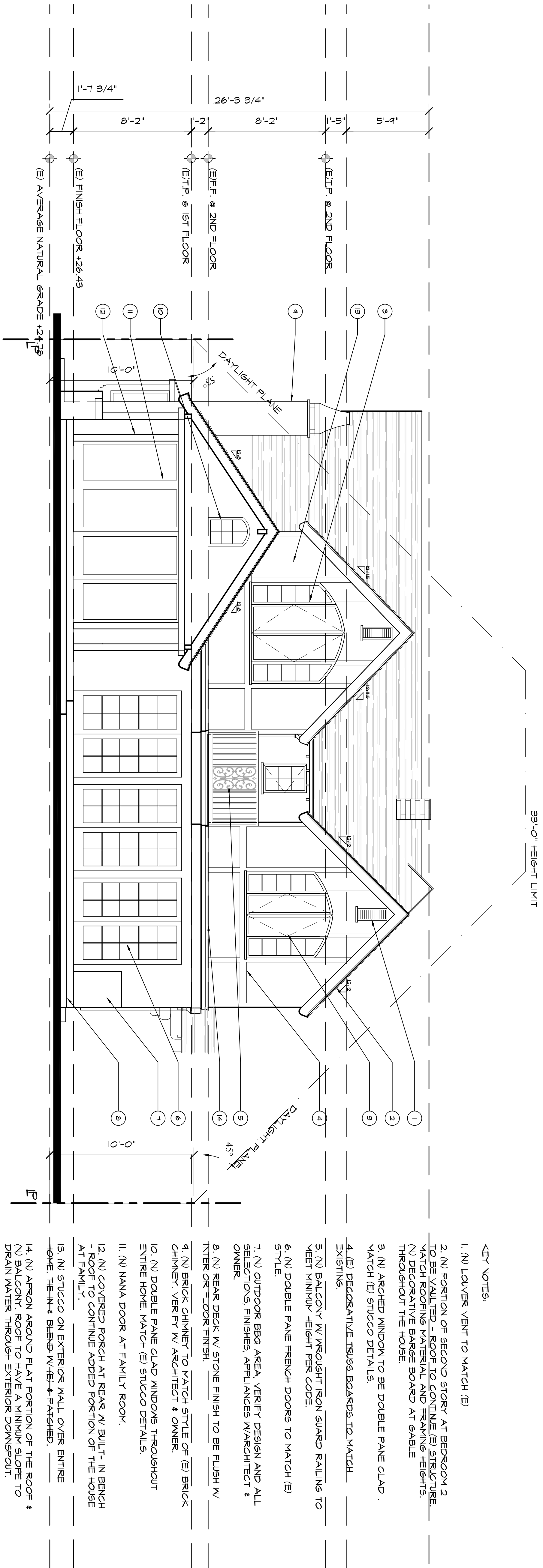
1/4" = 1'-0"
1





EXISTING REAR ELEVATION

1/4" = 1'-0"
2



PROPOSED REAR ELEVATION

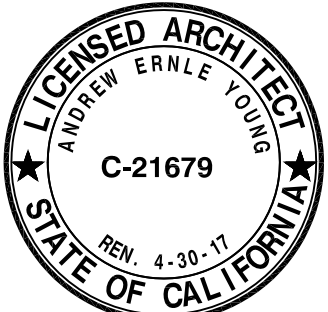
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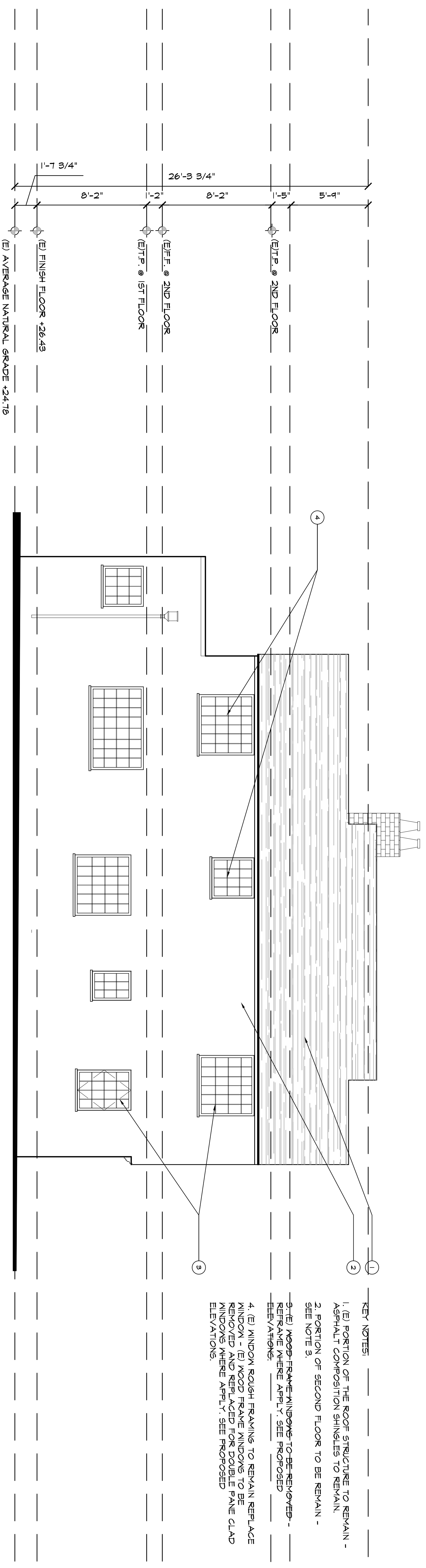
KEY NOTES:

1. (N) LOWER VENT TO MATCH (E)
2. (N) PORTION OF SECOND STORY AT BEDROOM 2 TO BE VAULTED - ROOF TO CONTINUE (E) STRUCTURE MATCH ROOFING MATERIAL AND FRAMING HEIGHTS. (N) DECORATIVE BARGE BOARD AT GABLE THROUGHOUT THE HOUSE.
3. (N) ARCHED WINDOW TO BE DOUBLE PANE GLAD. MATCH (E) STUCCO DETAILS.
4. (E) DECORATIVE TRUSS BOARDS TO MATCH EXISTING.
5. (N) BALCONY W/ ROUNDTOP IRON GUARD RAILING TO MEET MINIMUM HEIGHT PER CODE.
6. (N) DOUBLE PANE FRENCH DOORS TO MATCH (E) STYLE.
7. (N) OUTDOOR BBQ AREA, VERIFY DESIGN AND ALL SELECTIONS, FINISHES, APPLIANCES ARCHITECT & OWNER.
8. (N) REAR DECK W/ STONE FINISH TO BE FLUSH W/ INTERIOR FLOOR FINISH.
9. (N) BRICK CHIMNEY TO MATCH STYLE OF (E) BRICK CHIMNEY. VERIFY W/ ARCHITECT & OWNER.
10. (N) DOUBLE PANE GLAD WINDOWS THROUGHOUT ENTIRE HOME. MATCH (E) STUCCO DETAILS.
11. (N) NANA DOOR AT FAMILY ROOM.
12. (N) COVERED PORCH AT REAR W/ BUILT-IN BENCH - ROOF TO CONTINUE ADDED PORTION OF THE HOUSE AT FAMILY.
13. (N) STUCCO ON EXTERIOR WALL OVER ENTIRE HOME. TRUSS BLEND W/ (E) + PATCHED.
14. (N) APRON AROUND FLAT PORTION OF THE ROOF & (N) BALCONY ROOF TO HAVE A MINIMUM SLOPE TO DRAIN WATER THROUGH EXTERIOR DOWNSPOUT.

KEY NOTES:

1. CHIMNEY & INTERIOR DUCT TO BE REMOVED.
2. (E) CENTRAL PORTION OF THE ROOF STRUCTURE TO REMAIN - ASPHALT COMPOSITION SHINGLES TO REMAIN.
3. (E) WALL ON THE SECOND FLOOR TO BE REMOVED.
4. (E) BALCONY TO BE REMOVED.
5. (E) WOOD FRAME WINDOWS TO BE REMOVED - REFERANCE WHERE APPL.Y; SEE PROPOSED ELEVATIONS.
6. (E) PORTION OF FIRST FLOOR TO BE DEMOLISHED. SEE PROPOSED ELEVATIONS.
- 7.
8. (E) BRICK CHIMNEY ON WOOD FRAMING TO BE DEMOLISHED.
9. (E) SUNROOM TO BE REMOVED COMPLETELY.

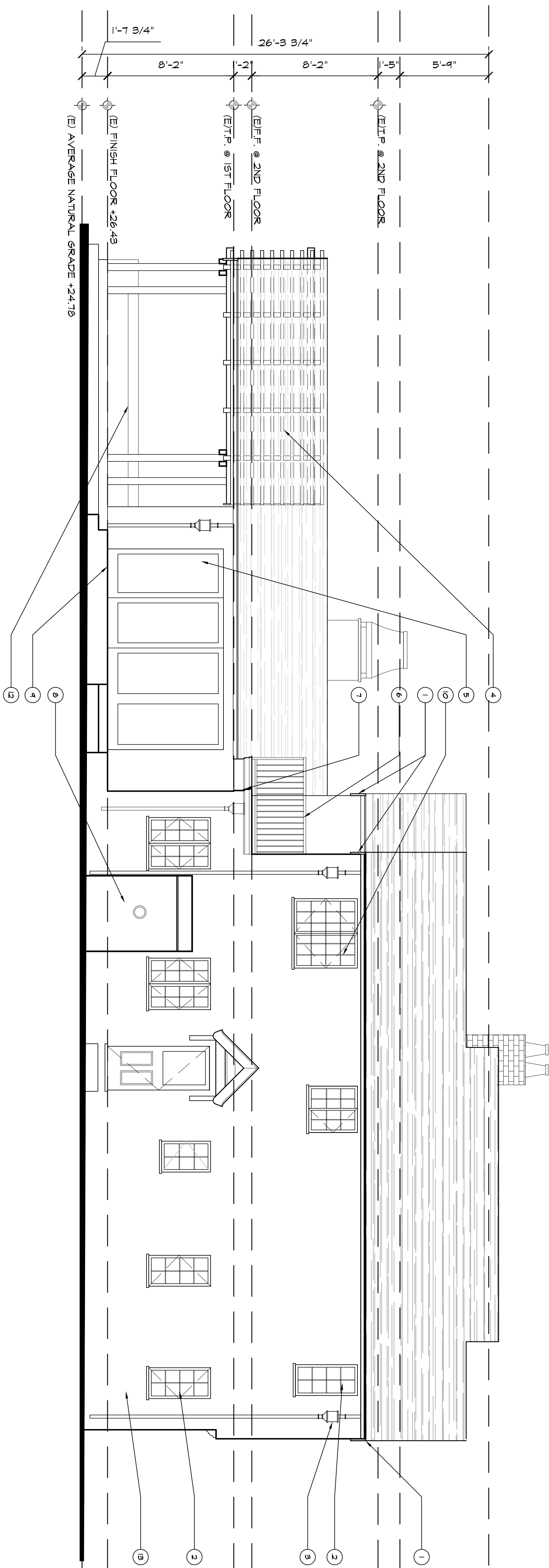




- KEY NOTES:
- (E) PORTION OF THE ROOF STRUCTURE TO REMAIN - ASPHALT COMPOSITION SHINGLES TO REMAIN.
 - PORTION OF SECOND FLOOR TO BE REMAIN - SEE NOTE 3.
 - WOOD FRAMEWORK TO BE REMOVED - REPAIR WHERE APPLICABLE. SEE PROPOSED ELEVATIONS.
 - (E) WINDOW ROUGH FRAMING TO REMAIN REPLACE WINDOW - (E) WOOD FRAME WINDOWS TO BE REMOVED AND REPLACED FOR DOUBLE PANE CLAD WINDOWS WHERE APPLICABLE. SEE PROPOSED ELEVATIONS.

EXISTING LEFT SIDE ELEVATION

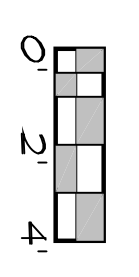
1/4" = 1'-0" 2



- KEY NOTES:
- (N) DECORATIVE BARGE BOARD AT GABLE THROUGHOUT THE HOUSE - INCORPORATE AS PART OF THE (E) TRUSS BOARDS & ADD TO (N) GABLE ENDS.
 - (N) DOUBLE PANE CLAD WINDOWS THROUGHOUT ENTIRE HOME. MATCH (E) STUCCO DETAILS.
 - (N) GUTTER, DOWNSPOUT & SUMP BOXES TO BE ADDED TO EXISTING EAVE.
 - (N) COVERED PORCH AT REAR W/ BUILT-IN BENCH - ROOF TO CONTINUE ADDED PORTION OF THE HOUSE AT FAMILY ROOM. SEE FLOOR PLAN FOR TRUSS SYSTEM.
 - (N) NANA DOOR AT FAMILY ROOM.
 - (N) BALCONY W/ ROUGH IRON GUARD RAILING TO MEET MINIMUM HEIGHT PER CODE.
 - (N) APRON AROUND FLAT PORTION OF THE ROOF & BALCONY
 - (N) DIRECT VENT CHIMNEY FOR GAS FIREPLACE AT LIVING ROOM.
 - (N) REAR DECK W/ STONE FINISH TO BE FLUSH W/ INTERIOR FLOOR FINISH.
 - (E) WINDOW ROUGH FRAMING TO REMAIN REPLACE WINDOW - (N) DOUBLE PANE CLAD WINDOW - SEE FLOOR PLAN WHERE APPLICABLE.
 - (N) STUCCO ON EXTERIOR WALL OVER ENTIRE HOME. TIE IN & BLEND W/ (E) & PATCHED.
 - BUILT-IN BENCH @ (N) COVERED PORCH AT REAR.
 - (N) STUCCO ON EXTERIOR WALL OVER ENTIRE HOME. TIE IN & BLEND W/ (E) & PATCHED.

PROPOSED LEFT SIDE ELEVATION

1/4" = 1'-0" 1



REMODEL AND ADDITION FOR: HAITAO & NANCY ZHENG 1766 FULTON STREET PALO ALTO, CA 94301				YOUNG AND BORLIK ARCHITECTS, INCORPORATED 480 LYTTON AVENUE, SUITE #8 PALO ALTO, CA 94301 TEL: (650) 688-1950 FAX: (650) 323-1112 www.ybarchitects.com	ISSUE LOG HIE SUBMITTAL AUG 26, 2015
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