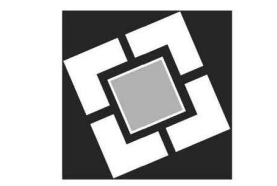


REVISIONS	BY



**KOHLER**  
ASSOCIATES  
ARCHITECTS

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REN: APRIL 2017

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NEW RESIDENCE FOR:  
**CRAIG & KATHY WOODS**  
1127 WEBSTER STREET  
PALO ALTO, CALIFORNIA

SITE PLAN

DRAWN  
HSC  
CHECKED

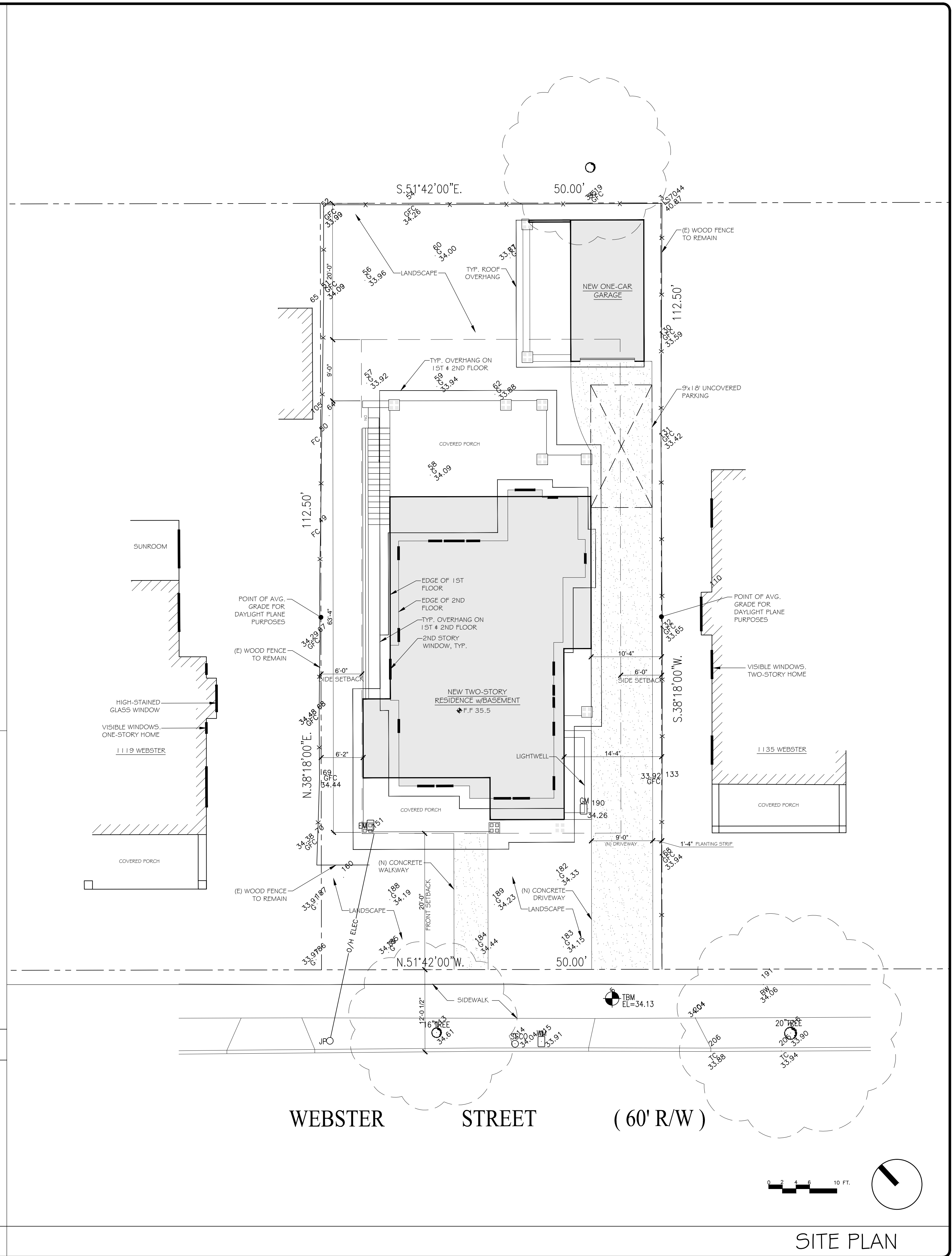
DATE  
8-18-15

SCALE  
1/8" = 1'-0"

JOB NO.  
1127 WEBSTER AVE.

SHEET  
**A1**

OF SHEETS



1. PRIOR TO ANY PLANTING, ALL PLANTABLE AREAS SHALL BE TILLED TO 12" DEPTH, AND ALL CONSTRUCTION RUBBLE AND STONED OVER 1" OR LARGER SHALL BE REMOVED FROM SITE

2. A TURF-FREE ZONE AROUND TREES 36" DIAMETER (18" RADIUS) REQUIRED FOR BEST TREE PERFORMANCE

- NOTE
- DROUGHT RESISTANT LANDSCAPE WILL BE PROVIDED PER LANDSCAPE DESIGNER AND GREEN RATER
  - LANDSCAPE IRRIGATION SYSTEM WILL BE PROVIDED FOR TREES AND DROUGHT RESISTANT PLANTS
  - IRRIGATION SYSTEM TO FOLLOW THE PALO ALTO GUIDELINES FOR WATER EFFICIENCY STANDARD USAGE
  - ALL EXISTING TREES ARE CALLED OUT ON SITE PLAN
  - TWO NEW NATIVE OAK TREES ARE PLANTED (SEE SITE PLAN FOR LOCATION AND SIZE)
  - TREE IRRIGATION WILL BE PROVIDED TO ALL TREES AND SHALL BE CONNECTED TO A SEPARATE VALVE FROM OTHER SHRUBBERY AND GROUND COVER PER CITY LANDSCAPE WATER EFFICIENCY STANDARDS

APN: 120-06-063  
ADDRESS: 1127 WEBSTER STREET  
ZONE: R-1  
BUILDING OCCUPANCY GROUPS:  
TYPE OF CONSTRUCTION: 2 STORY W/ BASEMENT  
STORIES: 2  
FLOOD ZONE: NO  
HISTORIC: NO  
FRONT SETBACK: 20 FOOT REQ. SETBACK  
PROJECT NOT SUBJECT TO CONTEXTUAL FRONT SETBACK  
GARAGE PLACEMENT: BACK OF LOT GARAGE

PROJECT INFO

LEGEND

---	PROPERTY LINE
---	SETBACK LINE
---	NEW RESIDENCE
⊙	TREE TRUNK DIAMETER
X	TREE TO BE REMOVED
---	TREE PROTECTION FENCE

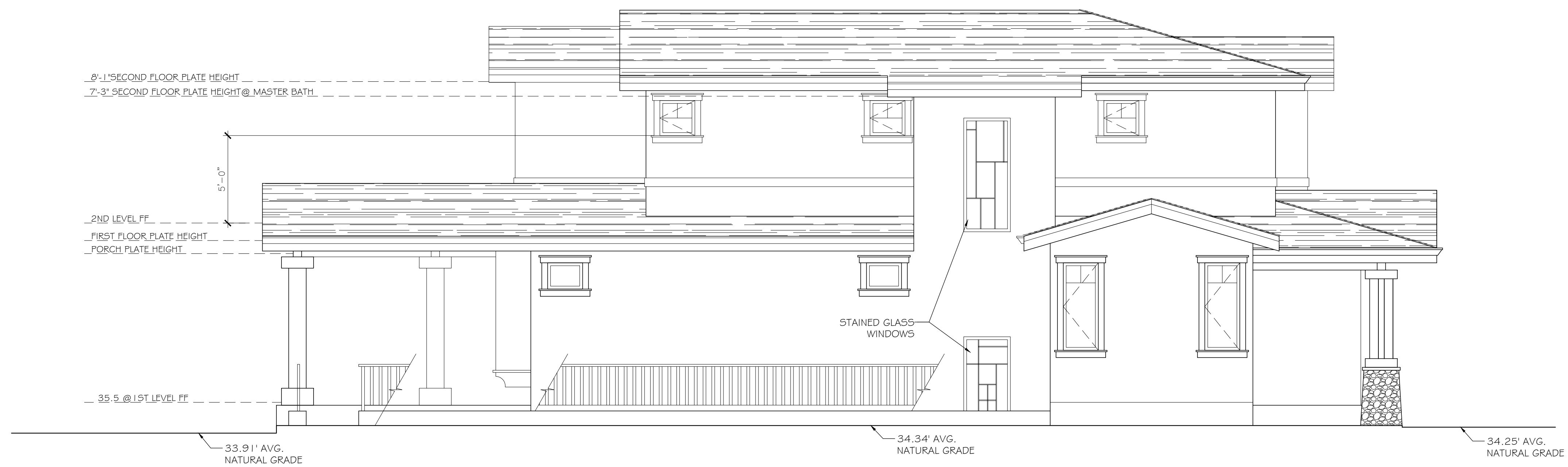
LANDSCAPE PLANTING NOTES

FRONT YARD 60% REQ. PERMEABLE AREA = 1,000 SQ. FT. (1000 X .6) = 600 SQ. FT.  
WALKWAY = 100 SQ. FT.  
DRIVE WAY = 179.9 SQ. FT.  
TOTAL = 279.9 SQ. FT. - 1000 SQ. FT. = 720.1 SQ. FT. PERMEABLE AREA (OK)

PERMEABLE REQUIREMENTS

SITE PLAN LEGEND

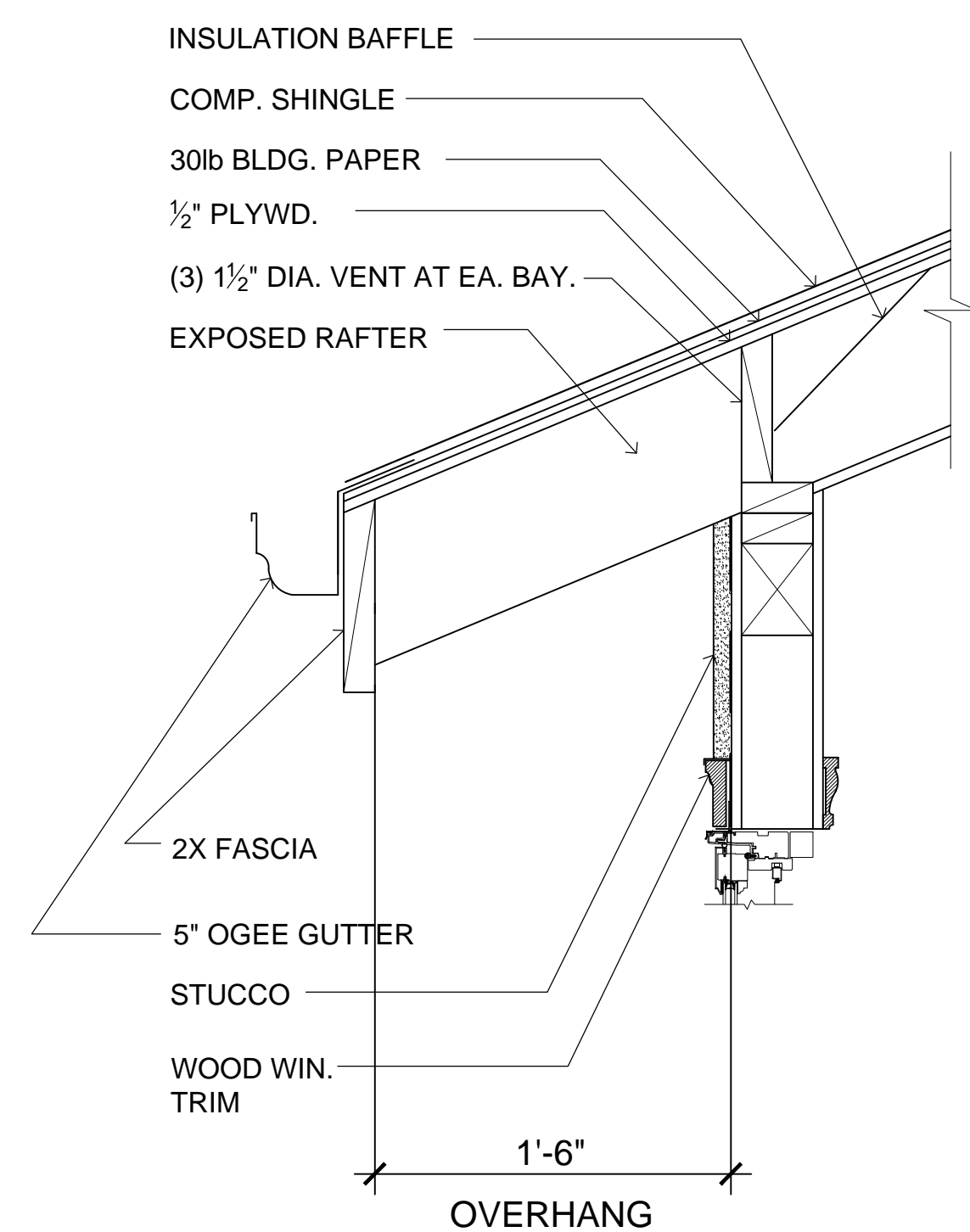
SITE PLAN



2 LEFT SIDE ELEVATION

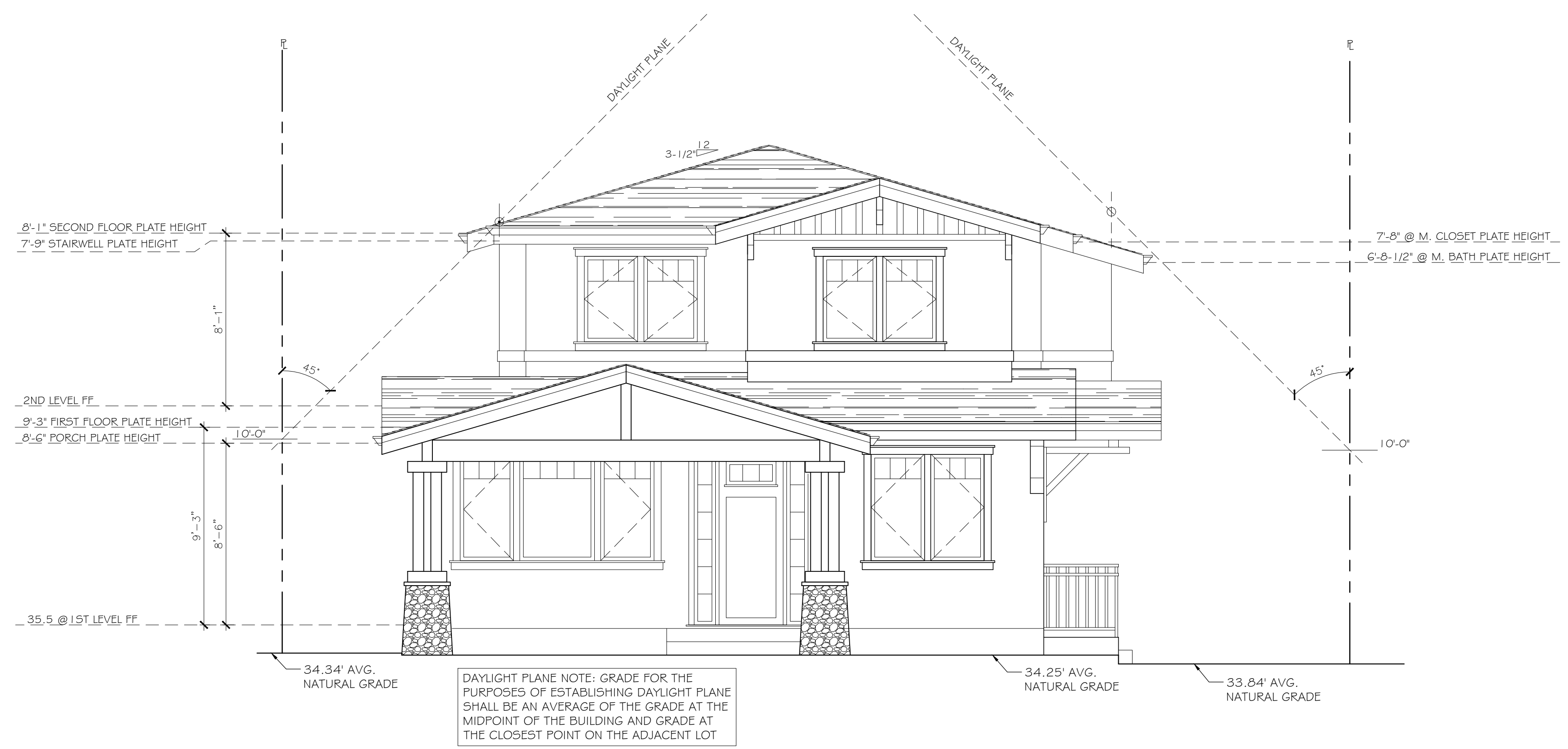
**EXTERIOR FINISH SCHEDULE**

- ROOF: ASPHALT SHINGLES
- EXTERIOR WALLS: PAINTED STUCCO w/SMOOTH FINISH, STONE VENEER SIDING
- EXTERIOR COLUMNS: PAINTED WOOD & STONE TRIM: PAINTED WOOD
- WINDOWS: CLAD WINDOWS w/CLEAR INSULATED GLASS w/APPLIED MUNTIN BARS ON BOTH SIDES
- DOORS: CLAD DOORS
- WINDOW TRIM, SILLS: PAINTED WOOD
- GUTTER: PAINTED SHEET METAL
- GARAGE DOOR: PAINTED OVERHEAD WOOD DOOR
- DRIVEWAY/PATIO: CONCRETE PAVERS

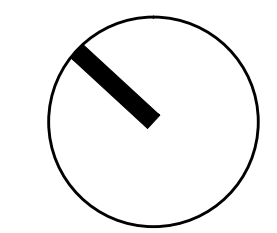
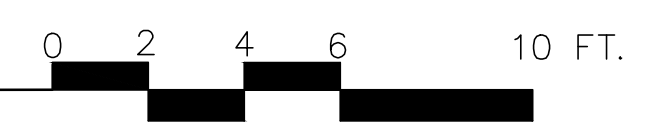


3 OVERHANG DETAIL

1-1/2" = 1'-0"



1 FRONT ELEVATION



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EXTERIOR ELEVATIONS

DRAWN HSC
CHECKED
DATE 8-18-15
SCALE 1/4" = 1'-0"
JOB NO. 1127 WEBSTER AVE.
SHEET

**A6**  
 OF SHEETS

REVISIONS	BY

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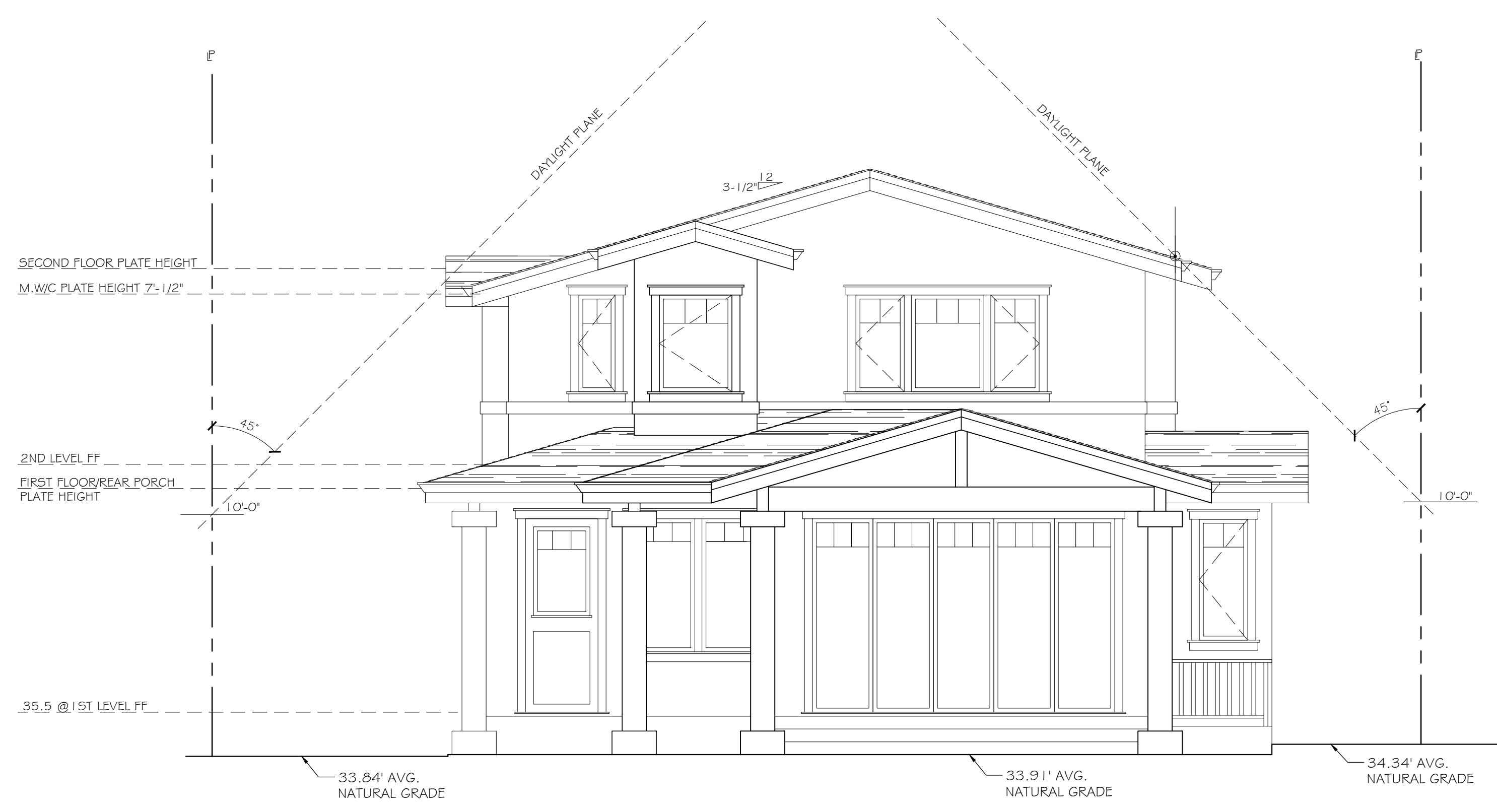
NEW RESIDENCE FOR:  
**CRAIG & KATHY WOODS**  
 1127 WEBSTER STREET  
 PALO ALTO, CALIFORNIA

EXTERIOR ELEVATIONS

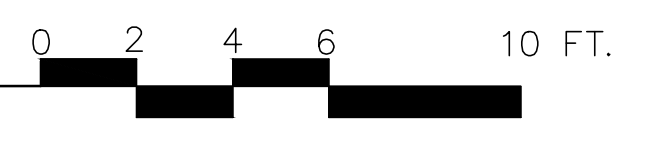
DRAWN HSC
CHECKED
DATE 8-18-15
SCALE 1/4" = 1'-0"
JOB NO. 1127 WEBSTER AVE.
SHEET <b>A7</b>



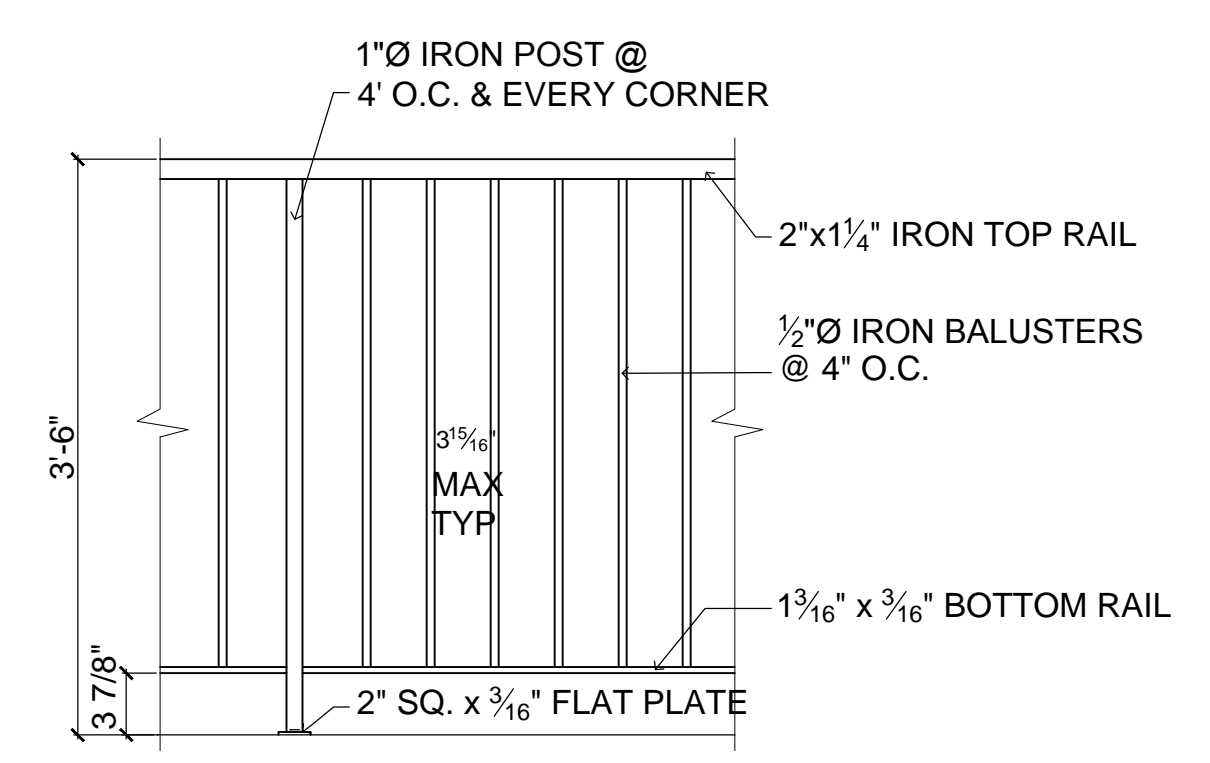
2 RIGHT SIDE ELEVATION



1 BACK ELEVATION



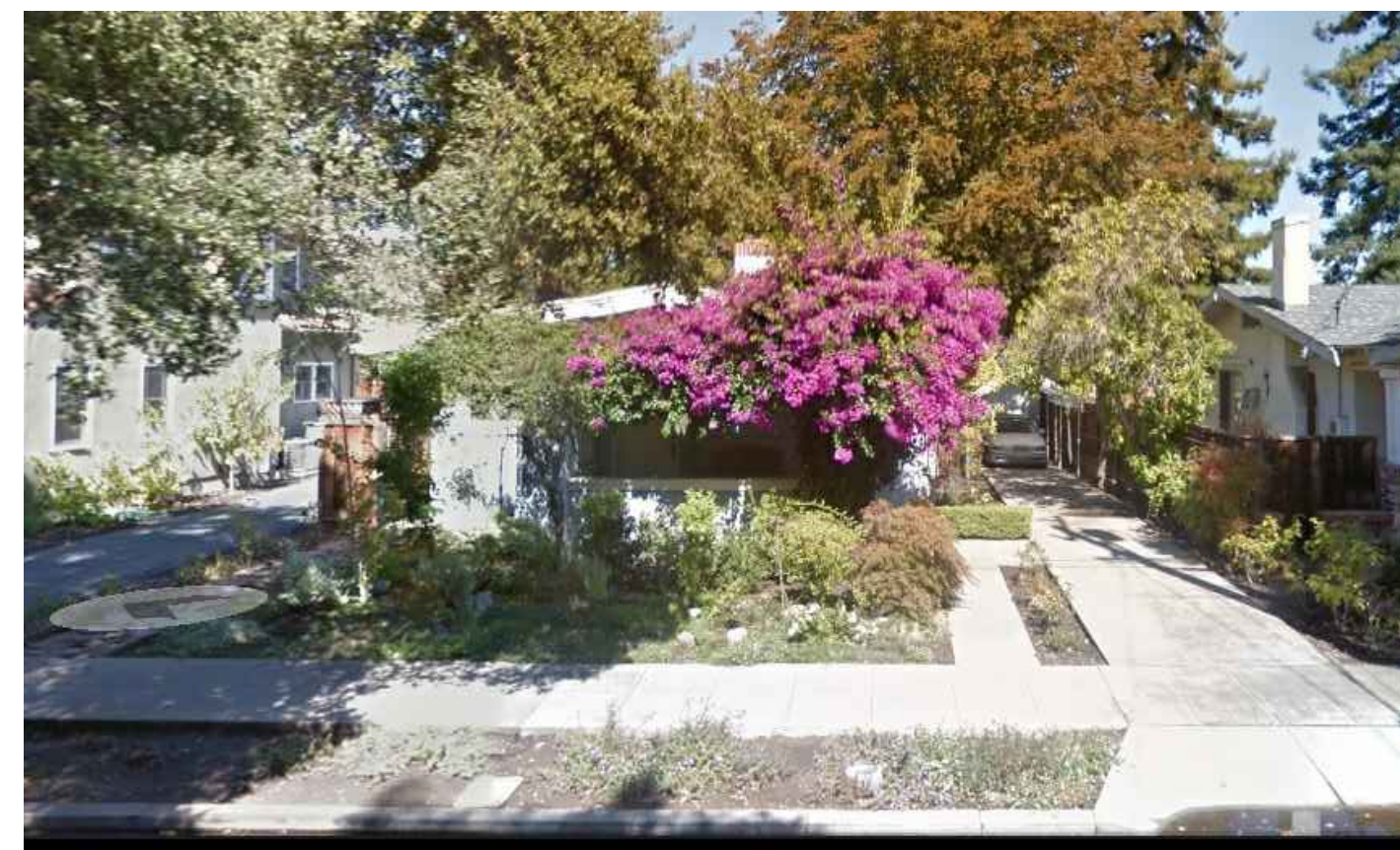
NOTE: VERIFY GUARDRAIL MATERIAL W/ OWNER



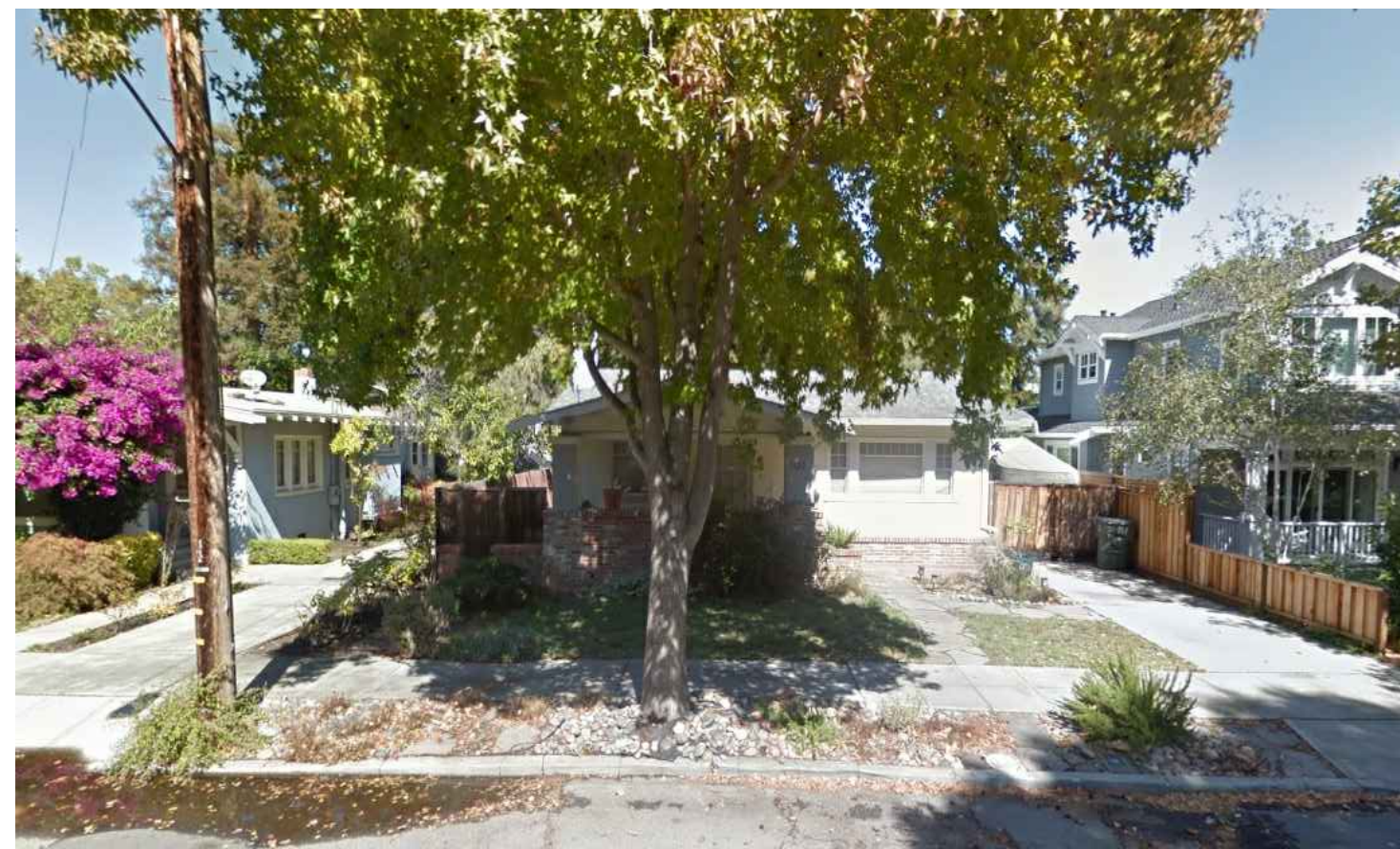
GUARDRAIL DETAIL

- ROOF: ASPHALT SHINGLES
- EXTERIOR WALLS: PAINTED STUCCO w/SMOOTH FINISH
- EXTERIOR COLUMNS: PAINTED WOOD & STONE  
TRIM: PAINTED WOOD
- WINDOWS: CLAD WINDOWS w/CLEAR INSULATED GLASS  
w/APPLIED MUNTIN BARS ON BOTH SIDES
- DOORS: CLAD DOORS
- WINDOW TRIM, SILLS: PAINTED WOOD
- GUTTER: PAINTED SHEET METAL
- GARAGE DOOR: PAINTED OVERHEAD WOOD DOOR
- DRIVEWAY/PATIO: CONCRETE PAVERS

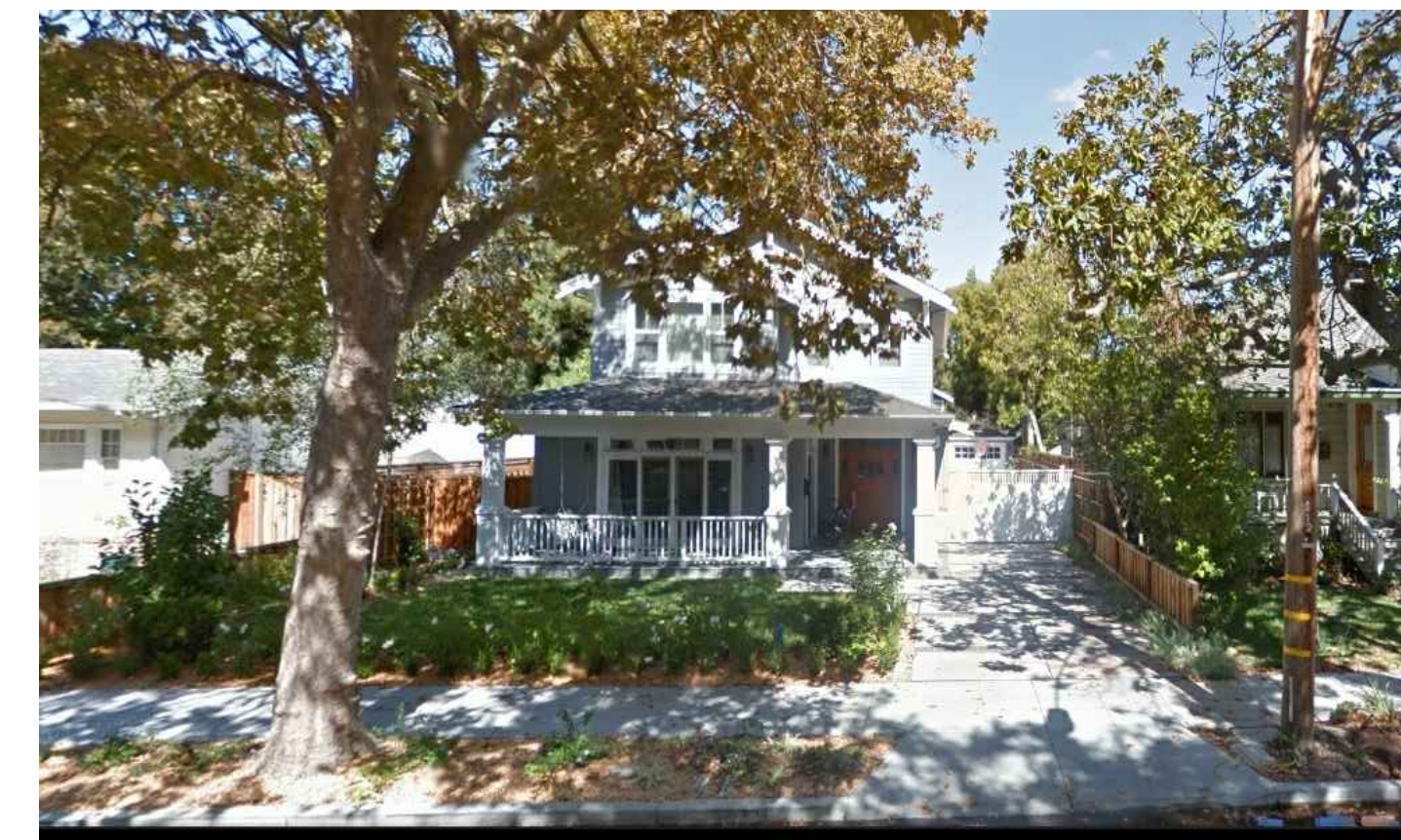
EXTERIOR FINISH SCHEDULE



1119 WEBSTER STREET



1127 WEBSTER STREET



1135 WEBSTER STREET

EXISTING STREETScape



1119 WEBSTER STREET



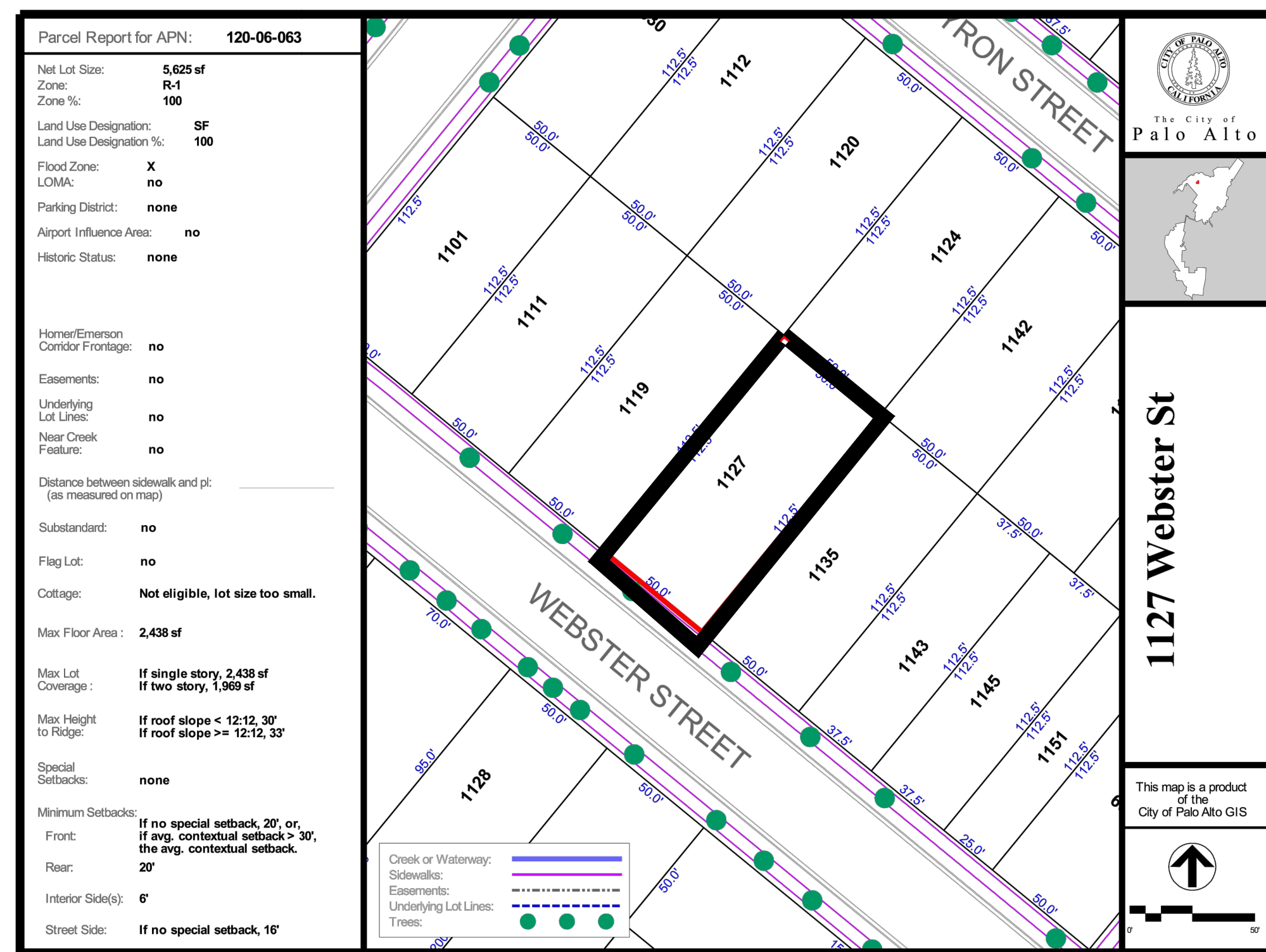
1127 WEBSTER STREET



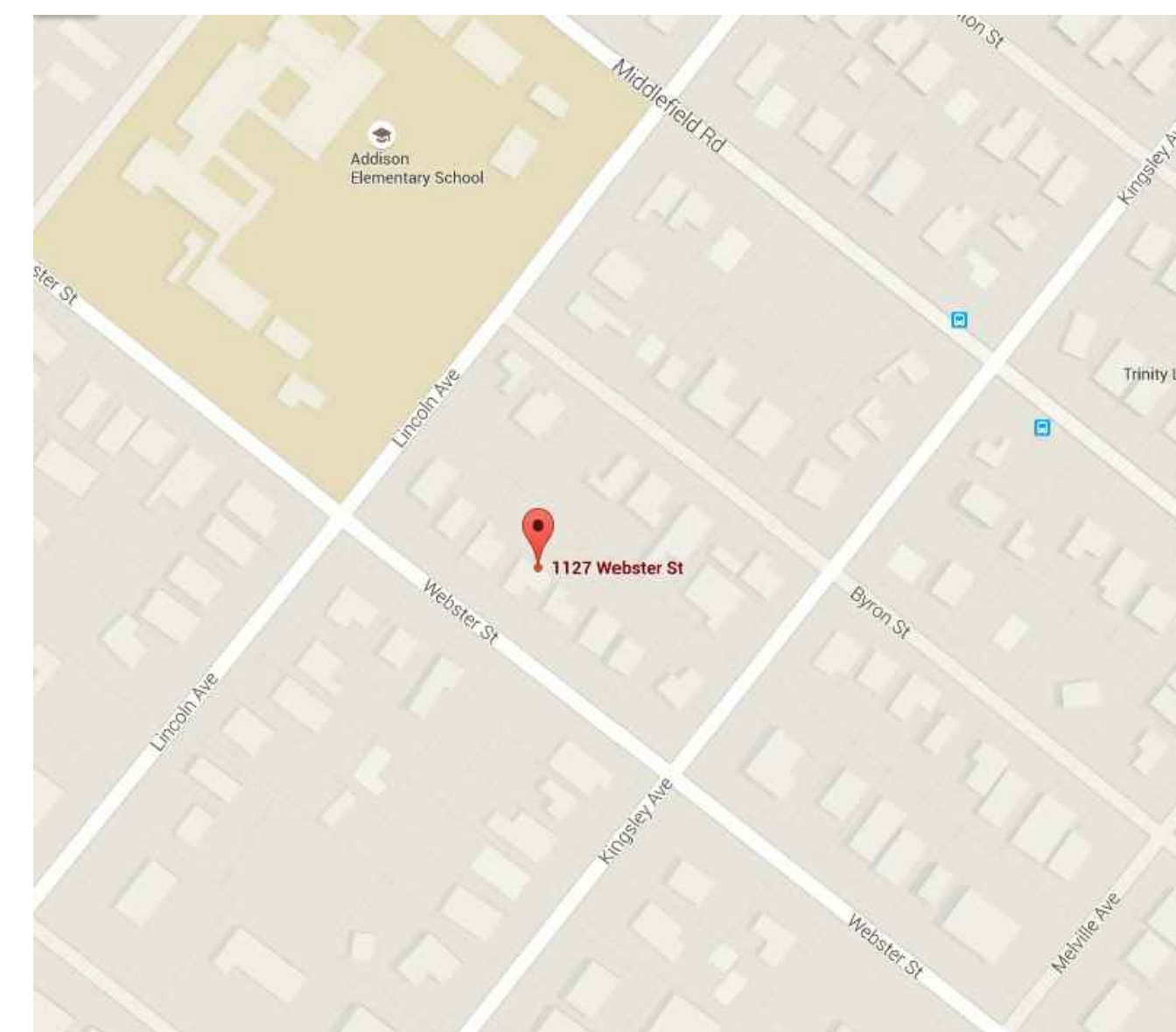
1135 WEBSTER STREET

PROPOSED STREETScape

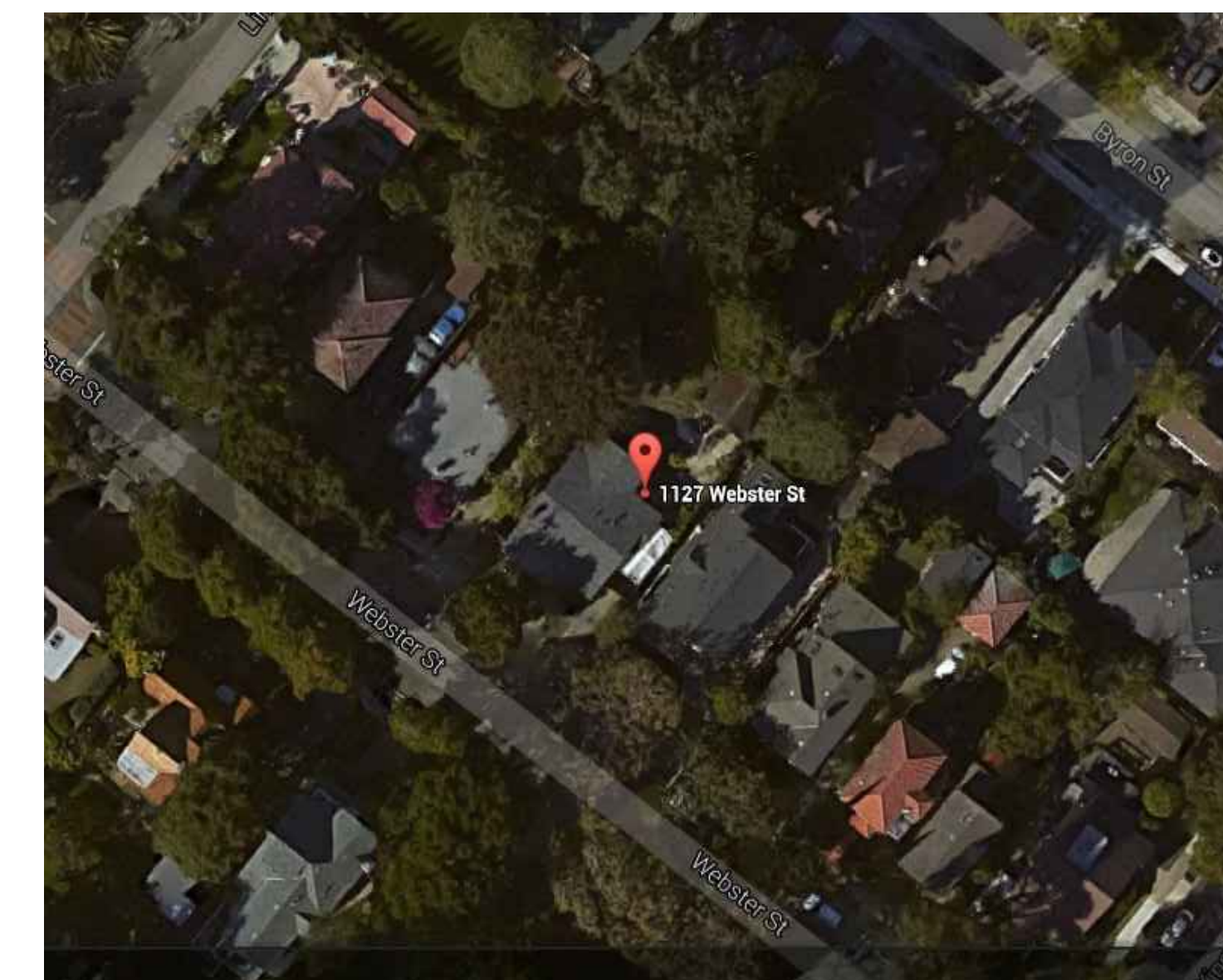
1/8" = 1'-0"



PARCEL REPORT



VICINITY MAP



AERIAL PHOTO

**FLOOR AREA SUMMARY**

LOT AREA:	5,625 SQ. FT.
1ST FLOOR:	1,254.77 SQ. FT.
2ND FLOOR:	959.29 SQ. FT.
GARAGE:	223.06 SQ. FT.
<b>TOTAL FLOOR AREA:</b>	<b>2,437.12 SQ. FT.</b>
<b>ALLOWABLE FLOOR AREA:</b>	<b>2,438 SQ. FT.</b>

**LOT COVERAGE SUMMARY**

LOT AREA:	5,625 SQ. FT.
1ST FLOOR:	1,254.77 SQ. FT.
GARAGE:	223.06 SQ. FT.
COV. PORCHES OVER 5%:	391.87 SQ. FT.
<b>TOTAL LOT COVERAGE:</b>	<b>1,869.7 SQ. FT.</b>
<b>ALLOWABLE LOT COVERAGE:</b>	<b>1,968.75 SQ. FT. (35%)</b>
<b>COVERED PORCHES:</b>	<b>673.12 SQ. FT.</b>
<b>ALLOWABLE COV. PORCHES:</b>	<b>281.25 SQ. FT. (5%)</b>

FLR AREA/LOT COV. CALCS.

**PROJECT DATA**

APN:	120-06-063
ADDRESS:	1127 WEBSTER STREET
ZONE:	R-1
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TYPE OF CONSTRUCTION:	2 STORY W/ BASEMENT
STORIES:	NO
FLOOD ZONE:	NO
HISTORIC:	NO
FRONT SETBACK:	20 FOOT REQ. SETBACK
PROJECT NOT SUBJECT TO CONTEXTUAL FRONT SETBACK:	
GARAGE PLACEMENT:	REAR RIGHT OF LOT

PROJECT INFO

TS	TITLE SHEET
T1	CITY OF PALO ALTO SPECIAL TREE PROTECTION SHEET
GB-1	GREEN BUILDING CHECKLIST
GB-2	GREEN BUILDING CHECKLIST
A1	SITE PLAN
A2	BASEMENT FLOOR PLAN
A3	SECOND FLOOR PLAN
A4	FIRST FLOOR PLAN
A5	ROOF PLAN
A6	EXTERIOR ELEVATIONS
A7	EXTERIOR ELEVATIONS
A8	SECTION
A9	FIRST AND SECOND FLOOR AREA CALCULATIONS
CO	SURVEY
G1	GARAGE

SHEET INDEX

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TITLE SHEET

DRAWN	HSC
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**TS**

OF SHEETS