

ONE STORY
STRUCTURE
LOT 12

ONE STORY
WOOD FRAME HOUSE
LOT 13

ONE STORY
STRUCTURE
LOT 14

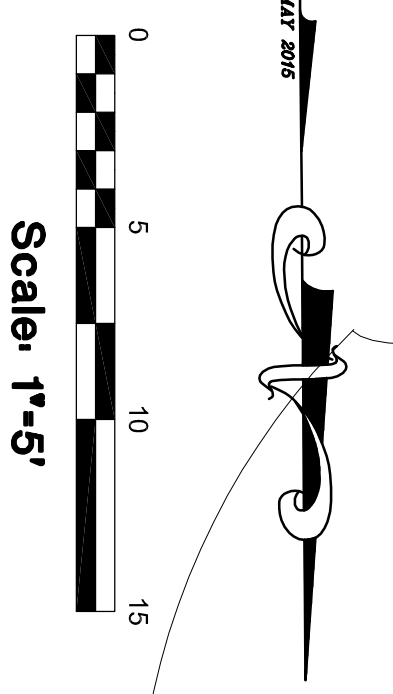
DOC. #22995883
APN: 003-41-047
"Tract No 68 Green Gables"
LOT 13
LOT AREA - 5,852 S.F.±

BASIS OF BEARINGS

BEARINGS SHOWN HEREON ARE BASED ON THAT RECORD OF SURVEY RECORDED DECEMBER 12, 2002 IN BOOK 756 OF MAPS AT PAGE 10, SANTA CLARA COUNTY RECORDS.

PROJECT BENCHMARK

ELEVATIONS SHOWN HEREON ARE BASED ON NAVD83 DATUM BENCHMARK BM523 (SCWD) BRASS DISK LOCATED ON THE NORTH SIDEWALK ON THE BRIDGE CROSSING SAN FRANCISCO CREEK AT WEST BAYSHORE ROAD ELEV. = 19.23



20" TREE

CHANNING AVENUE (R/W VARIES)

LEGEND

- BOUNDARY
- PROPERTY LINE
- CENTER LINE
- SETBACK LINE
- FACE OF BUILDING LINE
- WOODEN FENCE
- EDGE OF CREEK
- GAS METER
- WATER METER
- LANDSCAPE LIGHT
- SANITARY SEWER CLEANOUT
- SANITARY SEWER MANHOLE
- STORMDRAIN MANHOLE
- WATER VALVE
- CATCH BASIN
- GAS VALVE
- TREE AS NOTED
- FOUND MONUMENT AS NOTED
- FOUND MONUMENT AS NOTED

ABBREVIATIONS

- FL FLOWLINE
- TC TOP OF CURB
- EP EDGE OF PAVING
- C CONCRETE
- L LIP OF GUTTER
- G GROUND
- AC ASPHALTIC CONCRETE
- TS TOP OF STEP
- B.S.L. BUILDING SETBACK LINE

NOTES

1. PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SURFACE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY AND FROM AVAILABLE RECORD DATA AND SUBSURFACE INFORMATION WHICH MAY INCLUDE BUT ARE NOT LIMITED TO UNDERGROUND UTILITY LINES, UTILITY VAULTS, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, PIPING, UNDERGROUND TANKS, AND ANY OTHER SURFACE FEATURES NOT REVEALED BY A SURFACE INSPECTION.
2. DIMENSIONS SHOWN HEREON ARE GROUND DISTANCES IN FEET AND DECIMALS THEREOF.
3. NO PROPERTY CORNERS ARE PROPOSED TO BE SET BY THIS SURVEY.
4. ASSESSOR'S PARCEL NUMBER: 003-41-047
5. TREE TRUNK LOCATIONS ARE APPROXIMATE. TREES THAT CROSS A PROPERTY LINE AT GROUND LEVEL SHOULD BE CONSIDERED TO BE SHARED BY BOTH ADJACENT PROPERTY OWNERS. CONSULT AN ARBORIST FOR DETAILS.
6. DIMENSIONS FROM HOUSE TO PROPERTY LINE ARE MEASURED FROM THE BUILDING FACE OF THE STRUCTURE, PERPENDICULAR TO THE PROPERTY LINES.

SURVEYORS STATEMENT

THIS TOPOGRAPHIC SURVEY WAS PERFORMED BY ME OR UNDER MY DIRECTION.

TOM H. MILLI DATE
L.S. 6438 EXP. 12-31-16

DRAWN BY: BLS
CHKD. BY: THM
DATE: 08/06/15
SCALE: 1" = 5'

BOUNDARY & TOPOGRAPHIC SURVEY
APN: 003-41-047
1832 CHANNING AVENUE
PALO ALTO SANTA CLARA COUNTY CALIFORNIA

T.K.M.
Land Surveyors

2250 Bohannon Drive
Santa Clara, CA 95050
408.615.8855 phone
408.615.1556 fax

JOB NO. FILE NO. SHEET 1 OF 1

ABBREVIATIONS

(REFER TO CONSULTANT DRAWINGS FOR ADDITIONAL ABBREVIATIONS)

AC. TILE	ACOUSTIC TILE	LAV.	LAVATORY
ADJ.	ADJUSTABLE	LAM.	LAMINATE
ALUM.	ALUMINUM	M.B.	MACHINE BOLT
A.B.	ANCHOR BOLT	M.H.	MANGLE
APPROX.	APPROXIMATELY	MFG.	MANUFACTURER
A.C.	ASPHALTIC CONCRETE	M.O.	MASONRY OPENING
A.F.F.	ABOVE FINISHED FLOOR	MATL.	MATERIAL
@		MAX.	MAXIMUM
BLKG.	BLOCKING	MECH.	MECHANICAL
BD.	BOARD	MTL.	METAL
BOT.	BOTTOM	MIN.	MINIMUM
BLDG.	BUILDING	MISC.	MISCELLANEOUS
CAB.	CABINET	MTD.	MOUNTED
C.I.	CAST IRON	(N)	NEW
C.B.	CATCH BASIN	N.I.C.	NOT IN CONTRACT
		N.T.S.	NOT TO SCALE
		NO. or #	NUMBER
CLG.	CEILING	OBSC.	OBSCURE
CEM.	CEMENT	O.C.	ON CENTER
C.C. or O.C.	CENTER TO CENTER	OPNG.	OPENING
CL.	CENTERLINE	OPP.	OPPOSITE
CER. TILE	CERAMIC TILE	O.H.	OPPOSITE HAND
C.O.	CLEANOUT	O.F.O.S.	OUTSIDE FACE OF STUD
C.O.T.G.	CLEANOUT TO GRADE	O.D.	OVERFLOW DRAIN and/or OUTSIDE DIAMETER
CLR.	CLEAR	O.F.C.I.	OWNER FURNISHED and CONTRACTOR INSTALLED
RDW.	REDWOOD	PART.	PARTITION
C.W.	COLD WATER	P.A.F.	POWDER ACTUATED FASTENER
COL.	COLUMN	PL	PLATE
CONC.	CONCRETE	PLAS.	PLASTER
C.P.	CONCRETE PIPE	PW/PLYWD.	PLYWOOD
CONST.	CONSTRUCTION	PR	PROPERTY LINE
C.H.	CONSTRUCTION HEART	d	PENNY (NAILS)
CONT.	CONTINUOUS	P.V.C.	POLY VINYL CHLORIDE
CTR.	COUNTER	Q	
CTSK.	COUNTER SUNK	R. or RAD.	RADIUS
D.A.	DISABLED ACCESS	R.W.L.	RAIN WATER LEADER
DTL.	DETAIL	RWD/R.W.	REINFORCED CONCRETE
Ø	DIAMETER	R.C.P.	REINFORCING REQUIRED
DIM.	DIMENSION	REIN.	REINFORCING REQUIRED
DW.	DISHWASHER	REQ'D	REQUIRED
DISP.	DISPOSAL	R.D.	ROOF DRAIN
DO	DITTO	RM.	ROOM
DR.	DOOR	R.O.	ROUGH OPENING
D.S.	DOWNPOUT	RND. or Ø	ROUND
DWG.	DRAWING	R.H.M.S.	ROUND HEAD METAL SCREW
D.F.	DRINKING FOUNTAIN and/or DOUGLAS FIR	R.H.W.S.	ROUND HEAD WOOD SCREW
EA.	EACH	S.T.S.M.S.	SELF TAPPING SHEET METAL SCREW
E.W.	EACH WAY	SHEATH.	SHEATHING SHEET
ELECT.	ELECTRIC or ELECTRICAL	SHT.	SHEET METAL SCREW
E.W.C.	ELECTRIC WATER COOLER	S.M.S.	SHUT OFF VALVE
EL. or ELEV.	ELEVATION	S.O.V.	SIMILAR
ENCL.	ENCLOSE and/or ENCLOSURE	S.C.	SOLID CORE SPECIFICATIONS
EQ.	EQUIP.	SQ. or Ø	SQUARE
(E)	EXISTING	S.S.	STAINLESS STEEL
EX.	EXPANSION	STD.	STANDARD
E.J.	EXPANSION JOINT	STL.	STEEL
EXP.	EXPOSED	STRUCT.	STRUCTURAL
EXT.	EXTERIOR	TEL.	TELEPHONE
F.O.C.	FACE OF CONCRETE	T.T.B.	TELEPHONE TERMINAL BOARD
F.O.M.	FACE OF MASONRY	TERR.	TERRAZZO
F.O.S.	FACE OF STUD	T.&G.	TONGUE & GROOVE
FIN.	FINISH	T.J.	TOOLED JOINT
F.E.	FIRE EXTINGUISHER	T.O.B.	TOP OF BEAM
F.E.C.	FIRE EXTINGUISHER CABINET	T.O.C.	TOP OF CURB or CONCRETE
F.H.C.	FIRE HOSE CABINET	T.O.S.	TOP OF STEEL or SHEATHING
F.H.M.S.	FLAT HEAD METAL SCREW	T.O.W.	TOP OF WALK TYPICAL
F.H.W.S.	FLAT HEAD WOOD SCREW	U.O.N.	UNLESS OTHERWISE NOTED
FL. or FLR.	FLOOR	V.T.R.	VENT THROUGH ROOF
F.D.	FLOOR DRAIN	VERT.	VERTICAL
FTG.	FOOTING	V.G.	VERTICAL GRAIN
FND.	FOUNDATION	V.C.T.	VINYL COMPOSITION TILE
GALV.	GALVANIZED	V.C.P.	VITRIFIED CLAY PIPE
G.I.	GALVANIZED IRON	V.W.C.	VINYL WALL COVERING
GA.	GAUGE	W.C.	WATER CLOSET
GL.	GLASS	W.H.	WATER HEATER
GLU-LAM	GLUE-LAMINATED	WP.	WATERPROOF
GRID.	GRADE	W/	WITH
GYP. BD.	GYPSPUM BOARD	W/O	WITHOUT
HDW.	HARDWARE	WD.	WOOD
HT.	HEIGHT	W.W.M.	WELDED WIRE MESH
H.C.	HOLLOW CORE		
H.M.	HOLLOW METAL		
HORIZ.	HORIZONTAL		
H.B.	HOSE BIBB		
HR.	HOSE		
INSUL.	INSULATION		
INT.	INTERIOR		
INV.	INVERT		
JOINT	JOINT		

SYMBOLS

REFER TO ARCHITECTURAL FLOOR PLAN SHEETS AND CONSULTANT DRAWINGS FOR ADDITIONAL SYMBOLS AND REFERENCE DESIGNATIONS

DIMENSION REFERENCE	MATERIALS REFERENCE
FACE OF OBJECT	EARTH
CENTERLINE OF OBJECT	GRAVEL / ROCK
SECTION REFERENCE	CONCRETE
SECTION NUMBER	CONCRETE BLOCK
SHEET WHERE APPEARS	SAND, GROUT OR PLASTER
DETAIL REFERENCE	STEEL
DETAIL NUMBER	WOOD, FINISH GRADE
SHEET WHERE APPEARS	PLY-WOOD
SCHEDULE REFERENCE	WOOD, CONTINUOUS MEMBER
PLAN REF. GRID	WOOD, BLOCKING
DOOR ID	
WINDOW ID	
REVISION MARKER	
PLAN KEY NOTES	

DEFERRED APPROVAL ITEMS

PROJECT INFORMATION

APN	003 41 047
COUNTY	SANTA CLARA
ZONING DISTRICT	R-1 100
FLOOD ZONE	AH13.8
HISTORIC DISTRICT	No
OCCUPANCY	R-3 + U-1
BUILDING TYPE	V-B
AVERAGE SLOPE	0
LOT SIZE	5,852
ALLOWED FLOOR AREA	2,505 sq.ft.
MAX COVERAGE	2,048 sq.ft.
MIN. SETBACK	F= 20' S=6' R=20'
MAXIMUM HEIGHT (PROPOSED)	+ 26' 4"
FIRST FLOOR	1,273 sq.ft.
SECOND FLOOR	998 sq.ft.
GARAGE	233 sq.ft.
FLOOR AREA (sq.ft.) including garage	2,504 sq.ft.
PROPOSED COVERAGE (sq.ft.)	(1st Floor 1,273) + (Garage 233) + (Front Porch 294)= 1,800 1,800 / 5,852 = 30%

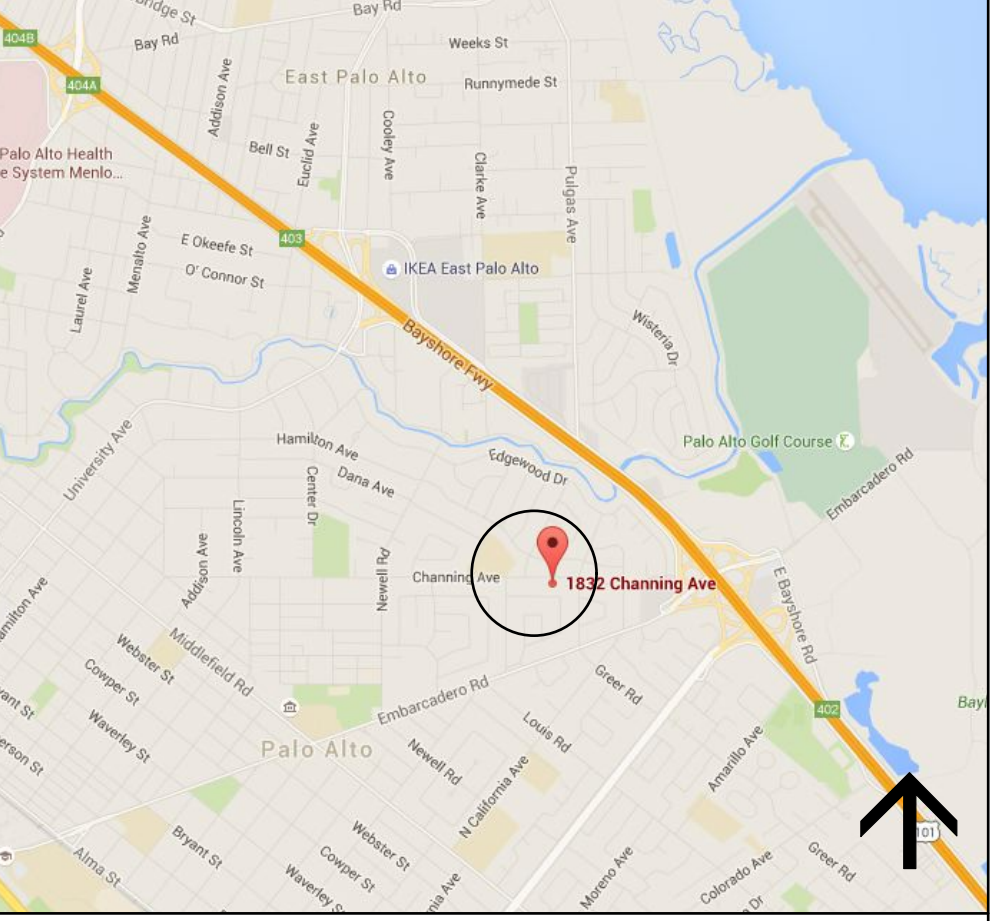
PROJECT TEAM

OWNER	ENERGY COMPLIANCE
Susanto Purnama 11871 Hilltop Drive Los Altos Hills, Ca 94024 T: (408) 396-5683	
STRUCTURAL ENGINEER	SURVEYOR / CIVIL ENGINEER
	Tom H. Milo, Pls Tkm Land Surveyors, Lp 2250 Bohannon Drive Santa Clara, Ca 95050 T: (408) 615-8855

DRAWINGS INDEX

ARCHITECTURAL
A-1.0 PROJECT INFORMATION
S-1 SURVEY
A-1.1 SITE PLAN
A-1.2 AREA DIAGRAMS
A-1.3 NEIGHBORHOOD CONTEXT
A-2.0 FIRST FLOOR PLAN
A-2.1 SECOND FLOOR PLAN
A-2.2 ROOF PLAN
A-3.0 EXTERIOR ELEVATIONS
A-3.1 EXTERIOR ELEVATIONS
A-4.0 BUILDING SECTIONS / DAYLIGHT PLANE
MB MATERIAL BOARD
GB-1 GREEN BUILDING SHEET
T-1 TREE PROTECTION

LOCATION MAP



SCOPE OF WORK

NEW TWO STORY HOUSE, 4 BEDROOMS AND 3 AND 1/2 BATHROOMS. DETACHED GARAGE FOLLOWING CONTEXTUAL PLACEMENT. TOTAL FLOOR AREA INCLUSIVE OF GARAGE: 2,504 SQ.FT.

APPLICABLE CODES

2013 California Building Code
2013 California Residential Building Code
2013 California Mechanical Code
2013 California Plumbing Code
2013 California Electrical Code
2010 California Energy Code
2013 Calgreen
City of Palo Alto Ordinance

PURNAMA RESIDENCE
1832 CHANNING AVE. PALO ALTO



Proposed East Elevation

Revision	Revision	Revision
----------	----------	----------

PURNAMA RESIDENCE	PROJECT INFO
1832 Channing Ave. Palo Alto CA	Proj. #

Sheet Scale : AS NOTED	Drawn By DG	Reviewed By DG	09/11/2015
------------------------	-------------	----------------	------------

Davide Giannella A.I.A.

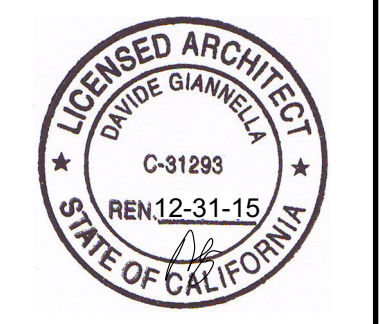


acadia
architecture

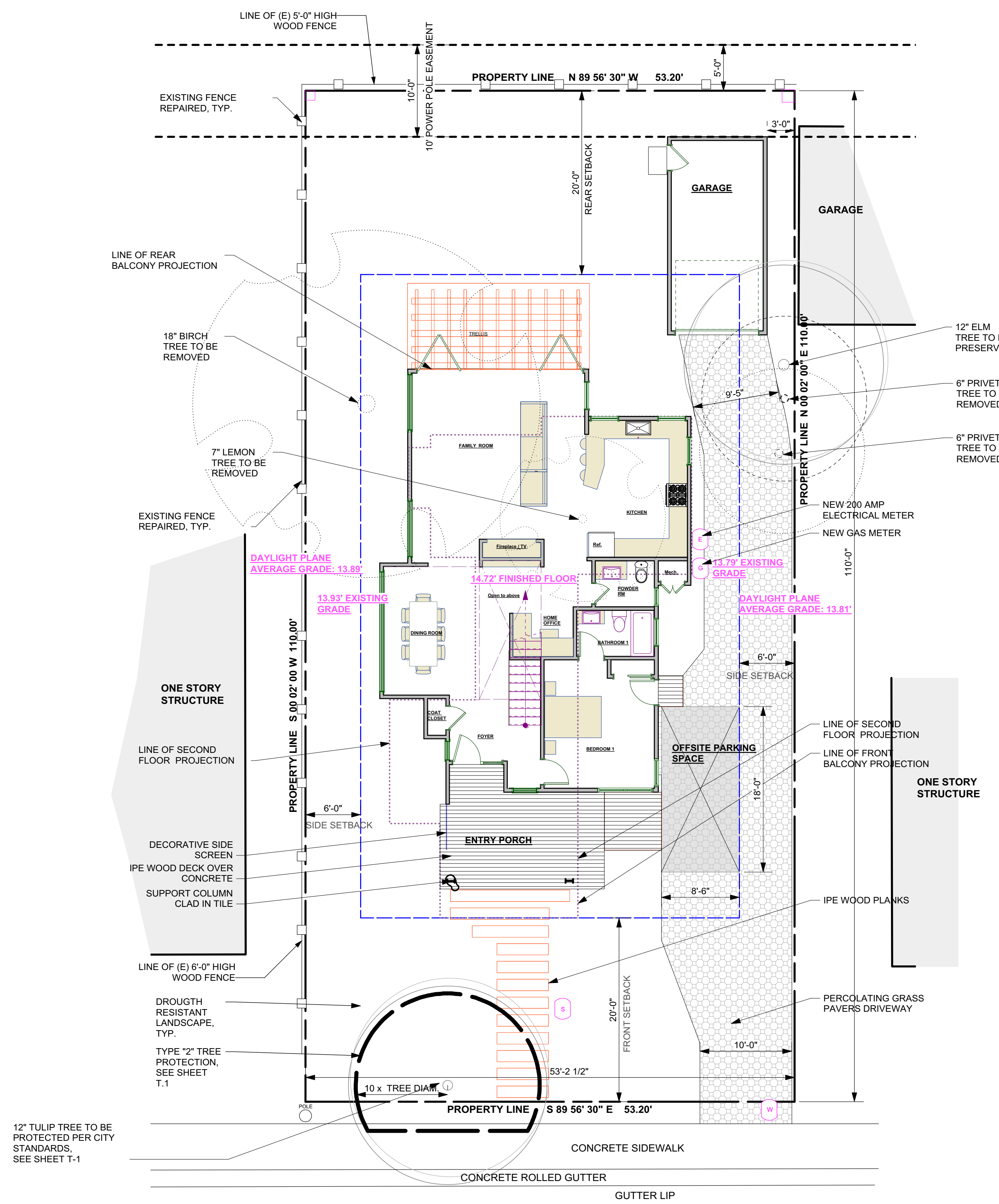
644 N. Santa Cruz Ave. Suite 6
Los Gatos, California 95030
T: 408-219-0601
dg@acadia-architecture.com

ACADIA-ARCHITECTURE
ALL RIGHTS RESERVED

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL UNPUBLISHED WORK OF ACADIA-ARCHITECTURE AND THE SAME MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF ACADIA-ARCHITECTURE



A 1.0



- DRAINAGE NOTES**
- 1- ALL DOWNSPOUTS AND FOUNDATION PERIMETER DRAINS TO BE CONNECTED TO SPLASH BLOCKS AWAY FROM BUILDING
 - 2- SURFACE DRAINAGE TO FLOW THROUGH GRASS SWALES
 - 3- NOT USED
 - 4- ONLY TREES INDICATED TO BE REMOVED SHALL BE REMOVED
 - 5- SLOPE GRADE AWAY FROM BUILDING 5% FOR A DISTANCE OF 5' AWAY FROM BUILDING. PROVIDE 2% SLOPE ON IMPERVIOUS SURFACES
 - 6- NOT USED
 - 7- ENSURE PROPER LOT DRAINAGE PER CHAPTER 11 CPC 2013 FOR LOCATION OF CATCH BASINS TO THE PROPERTY LINES.
 - 8- THE RUNOFF SHOULD REMAIN ON THE PROPERTY NOT BE TAKEN TO A PUBLIC WAY.

- GRAPHIC KEY:**
- EXISTING WALL TO REMAIN
 - NEW EXTERIOR / INTERIOR WALL
 - 1HR FIRE RESISTIVE WALL CONSTRUCTION AT WALLS BETWEEN GARAGE AND LIVABLE SPACE: MIN. 1/2" GYPSUM BOARD TYPE X OVER STUDS FROM CURB TO UNDERSIDE OF ROOF SHEATING

- DIMENSIONS NOTE**
- 1- CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD AND NOTIFY ARCHITECT OF ANY DISCREPANCY BEFORE ANY CONSTRUCTION
 - 2- CONTRACTOR TO STAKE PROPERTY LINES WITH SURVEYOR AND USE SETBACKS FOR ADDITION LAY-OUT

NOTE

1) GRADE FOR PURPOSE OF ESTABLISHING DAYLIGHT PLAN SHALL BE AN AVERAGE OF THE GRADE AT THE MIDPOINT OF THE BUILDING AND GRADE AT THE CLOSEST POINT ON THE ADJACENT LOT

1 SITE PLAN
Scale: 1/8" = 1'-0"

0 4 8 12 16

N

Revision	Revision	Revision
----------	----------	----------

PURNAMA RESIDENCE
1832 Channing Ave. Palo Alto CA
SITE PLAN
Proj. #

Sheet Scale : AS NOTED	Drawn By DG	Reviewed By DG	09/11/2015
------------------------	-------------	----------------	------------

Davide Giannella A.I.A.

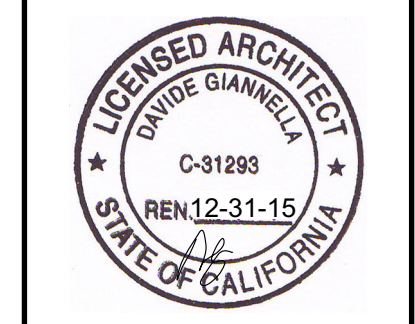


acadia
architecture

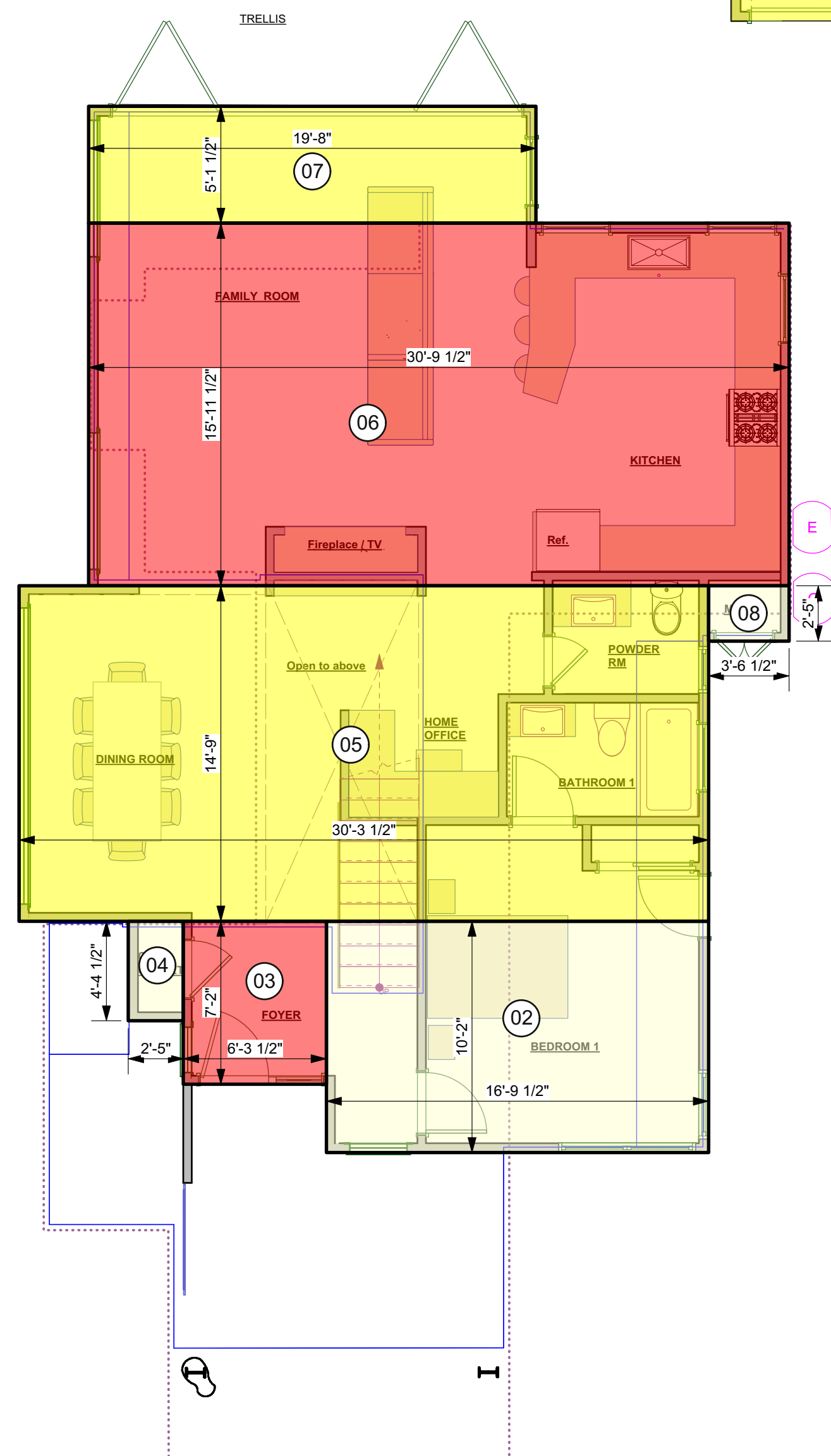
644 N. Santa Cruz Ave. Suite 6
Los Gatos, California 95030
T: 408-219-0601
dg@acadia-architecture.com

ACADIA-ARCHITECTURE
ALL RIGHTS RESERVED

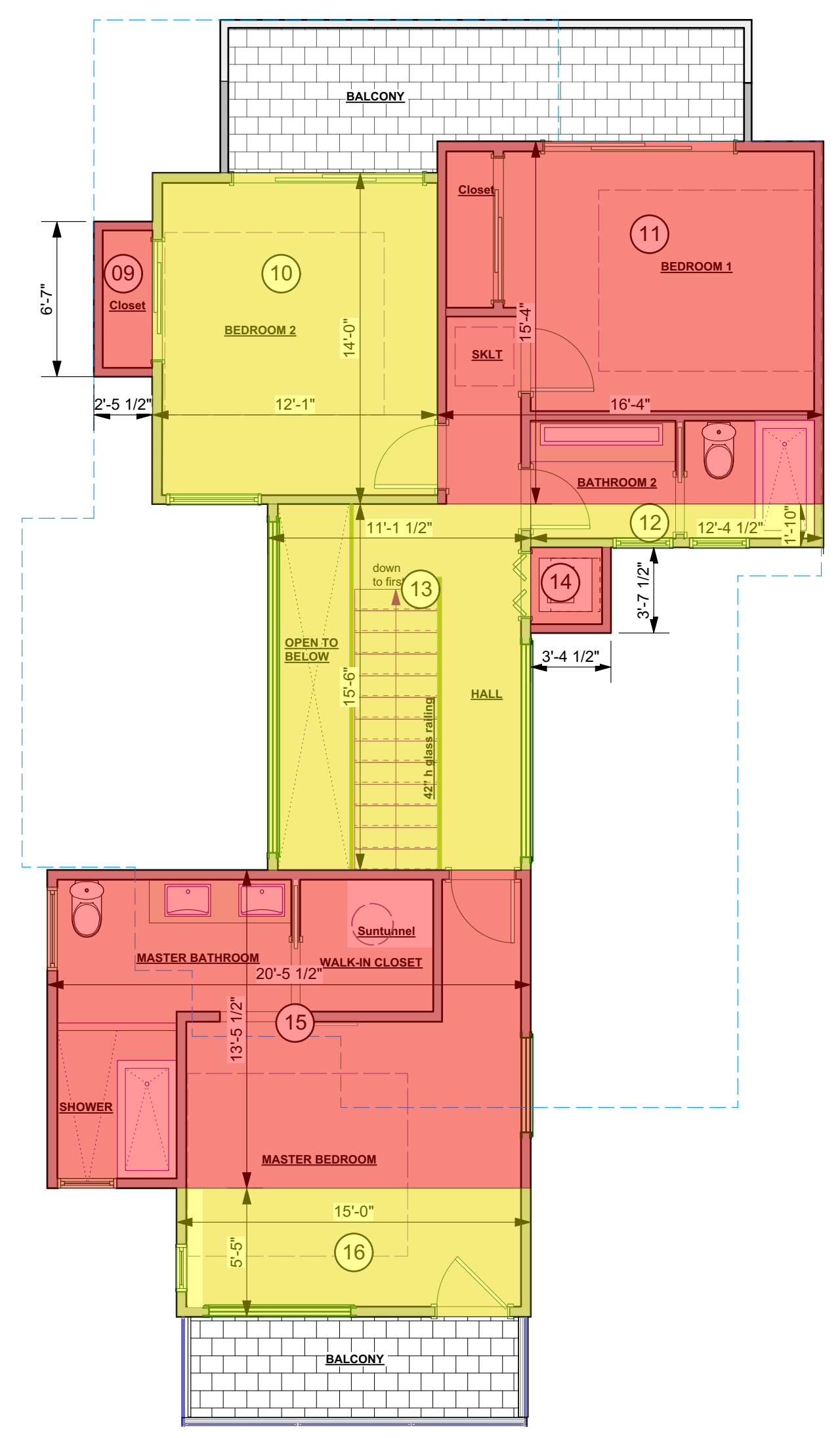
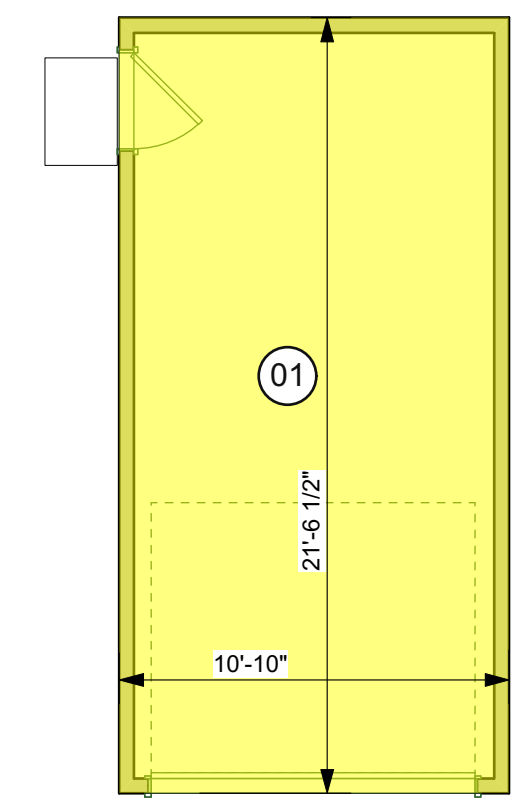
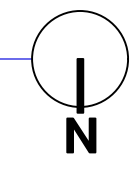
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL UNPUBLISHED WORK OF ACADIA-ARCHITECTURE AND THE SAME MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF ACADIA-ARCHITECTURE



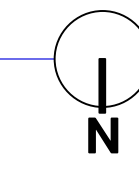
A 1.1



2 FIRST FLOOR PLAN- AREA DIAGRAM
Scale: 3/16" = 1'-0"



01 SECOND FLOOR PLAN- AREA DIAGRAM
Scale: 3/16" = 1'-0"



SECTION # (SHAPE)	SIDE A	SIDE B	FLOOR AREA OF SECTION FOOTPRINT
01- RECTANGLE	10'-10"	21'- 6 1/2"	233 sq.ft.
			TOTAL GARAGE
			233 sq.ft.
02- RECTANGLE	16'-9 1/2"	10'-2"	170 sq.ft.
03- RECTANGLE	6'-3 1/2"	7'-2"	45 sq.ft.
04- RECTANGLE	2'-5"	4'-4 1/2"	11 sq.ft.
05- RECTANGLE	30'-3 1/2"	14'-9"	447 sq.ft.
06- RECTANGLE	30'-9 1/2"	15'-11 1/2"	491 sq.ft.
07- RECTANGLE	19'-8"	5'-1 1/2"	101 sq.ft.
08- RECTANGLE	3'-6 1/2"	2'-5"	8 sq.ft.
			TOTAL 1ST FLOOR
			1,273 sq.ft.
09- RECTANGLE	6'-7"	2'- 5 1/2"	16 sq.ft.
10- RECTANGLE	12'-1"	14'-0"	168 sq.ft.
11- RECTANGLE	16'-4"	15'-4"	250 sq.ft.
12- RECTANGLE	12'-4 1/2"	1'-10"	23 sq.ft.
13- RECTANGLE	11'-1 1/2"	15'-6"	172 sq.ft.
14- RECTANGLE	3'-4 1/2"	3'-7 1/2"	12.2 sq.ft.
15- RECTANGLE	20'-5 1/2"	13'-5 1/2"	275 sq.ft.
16- RECTANGLE	15'-0"	5'-5"	81 sq.ft.
			TOTAL 2ND FLOOR
			998 sq.ft.
			TOTAL (EXCLUDED GARAGE)
			2,271 sq.ft.

Revision

PURNAMA RESIDENCE
1832 Channing Ave. Palo Alto CA

Sheet Scale : AS NOTED
Drawn By DG
Reviewed By DG
09/11/2015

Davide Giannella A.I.A.

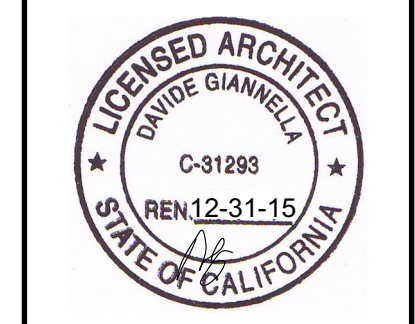


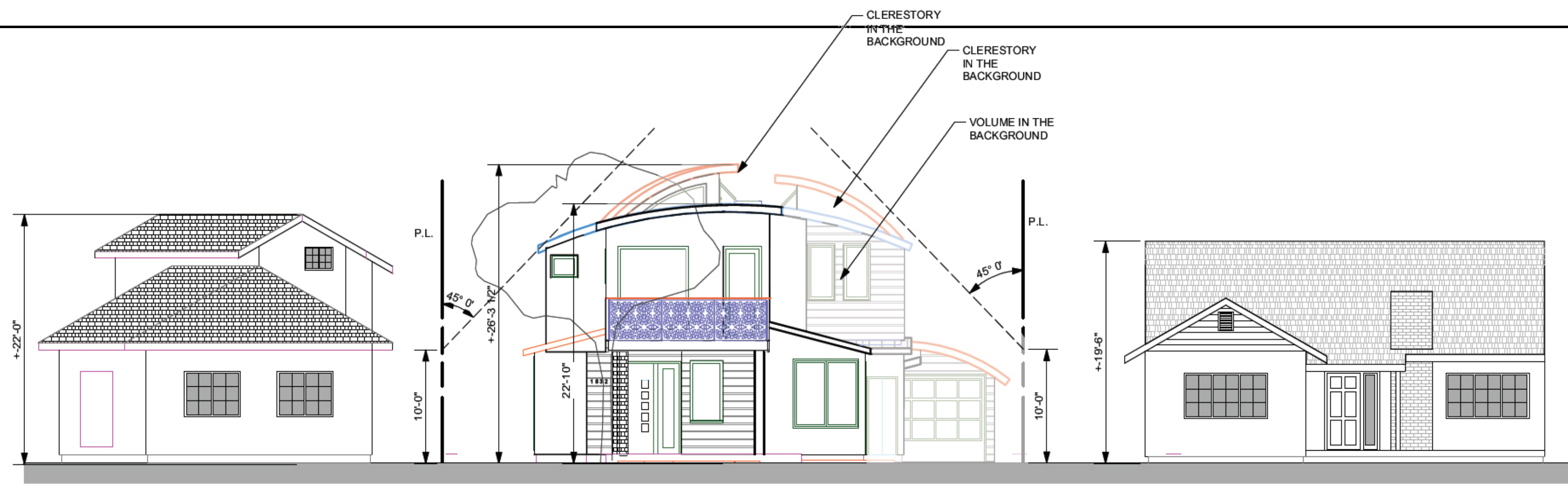
acadia
architecture

644 N. Santa Cruz Ave. Suite 6
Los Gatos, California 95030
T: 408-219-0601
dg@acadia-architecture.com

ACADIA-ARCHITECTURE
ALL RIGHTS RESERVED

ALL DRAWINGS AND WRITTEN
MATERIAL APPEARING HEREIN
CONSTITUTE THE ORIGINAL
UNPUBLISHED WORK OF
ACADIA-ARCHITECTURE AND THE
SAME MAY NOT BE DUPLICATED,
USED, OR DISCLOSED WITHOUT
THE WRITTEN CONSENT OF
ACADIA-ARCHITECTURE

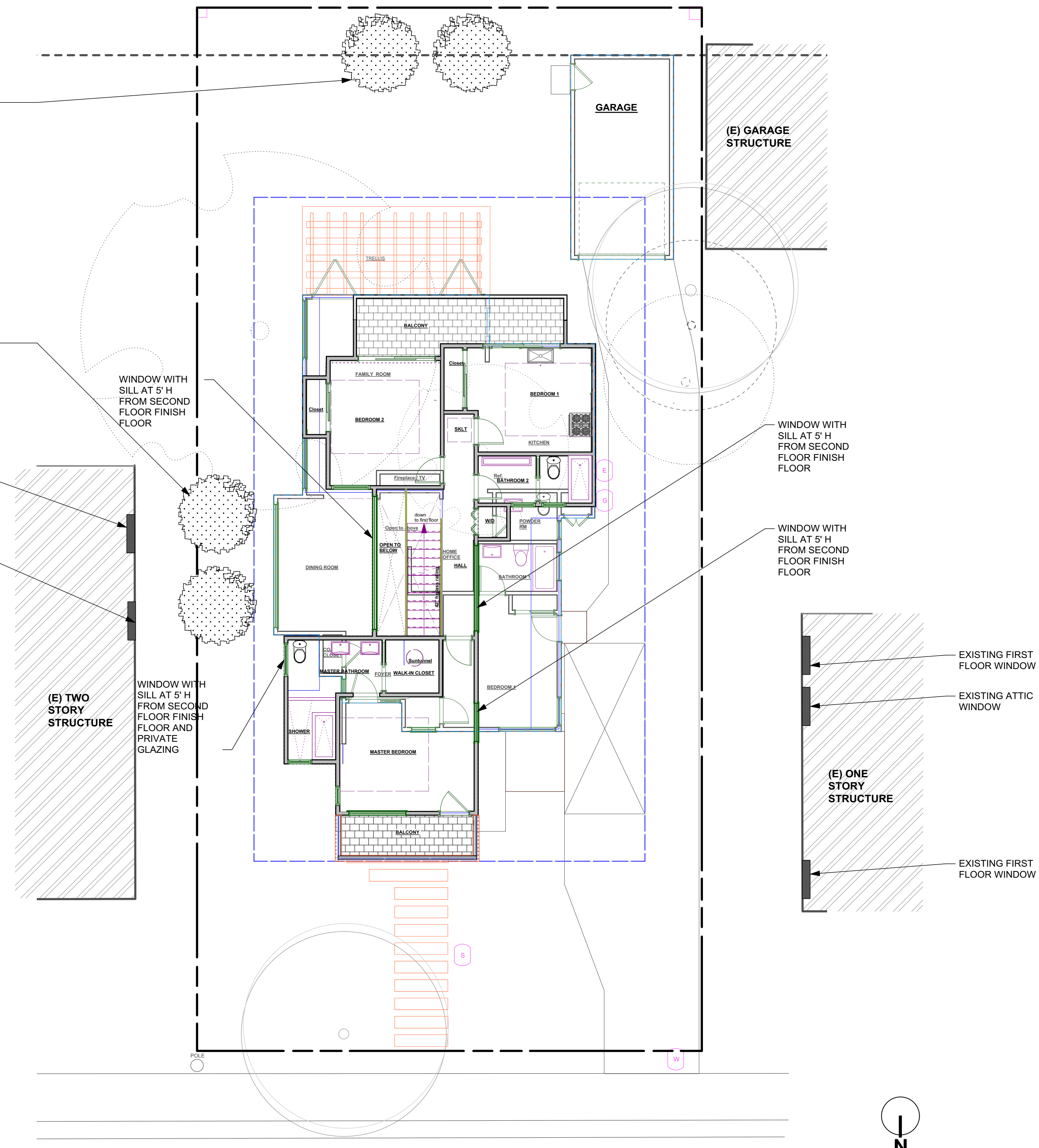




2 NEIGHBORHOOD CONTEXT
Scale: 1/8" = 1'-0"

NEW EUCALYPTUS POLYANTHEMOS 24" BOX SCREENING TREES FOR PRIVACY SCREENING.
MUST BE FAST GROWING EVERGREEN LANDSCAPE THAT IS A MINIMUM OF 12' TALL AT PLANTING TIME. THESE TREES WILL NEED TO REMAIN OR BE REPLACED IN KIND DURING THE LIFE OF THE STRUCTURE.

NEW EUCALYPTUS POLYANTHEMOS 24" BOX SCREENING TREES FOR PRIVACY SCREENING.
MUST BE FAST GROWING EVERGREEN LANDSCAPE THAT IS A MINIMUM OF 12' TALL AT PLANTING TIME. THESE TREES WILL NEED TO REMAIN OR BE REPLACED IN KIND DURING THE LIFE OF THE STRUCTURE.

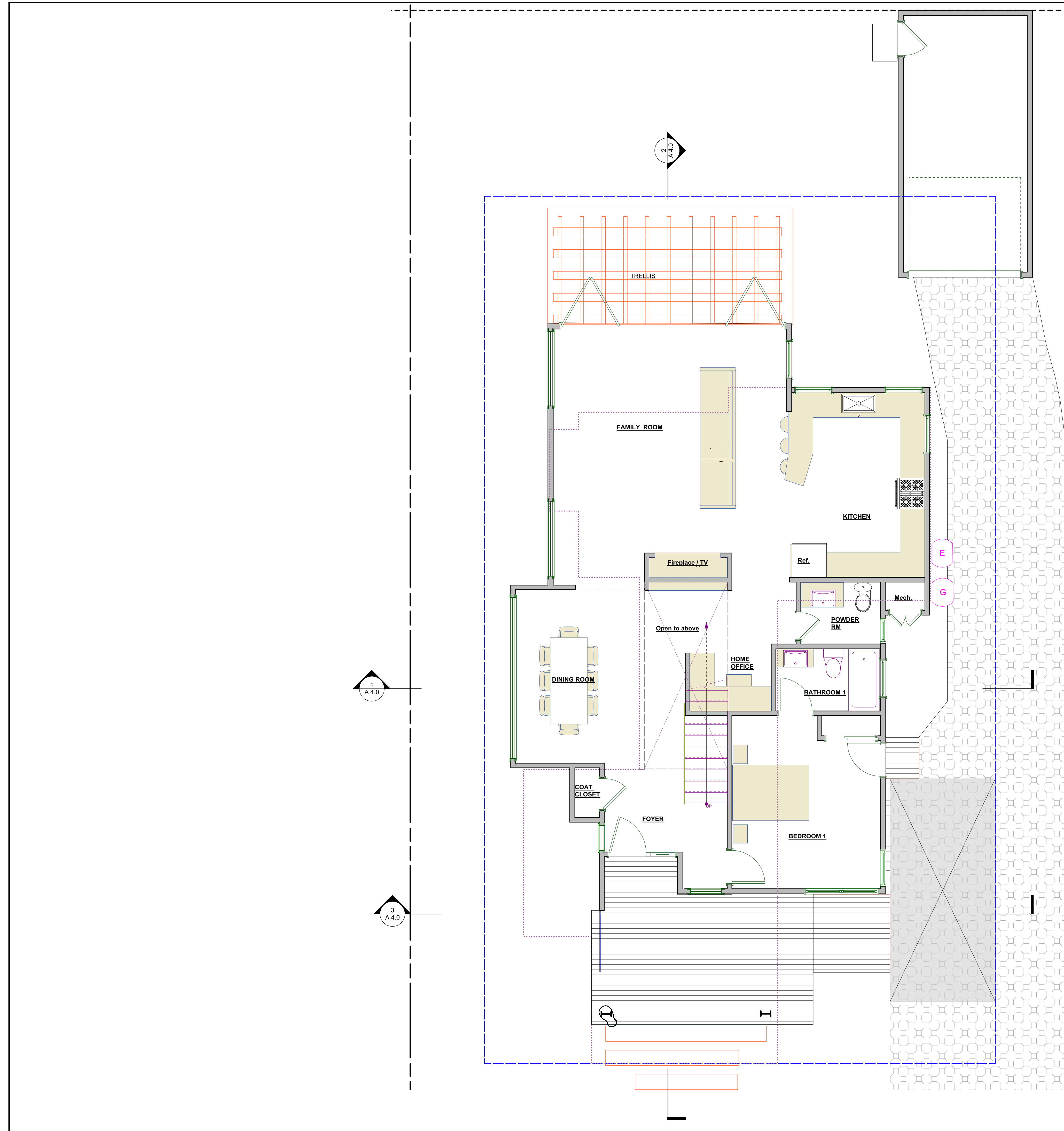


1 PRIVACY PLAN (SECOND FLOOR PLAN)
Scale: 1/8" = 1'-0"

1832 CHANNING AVE.



Revision	Revision	Revision
PURNAMA RESIDENCE 1832 Channing Ave. Palo Alto CA Proj. # NEIGHBORHOOD CONTEXT		
Sheet Scale : AS NOTED	Drawn By DG	Reviewed By DG
09/11/2015		
Davide Giannella A.I.A.		
 acadia architecture		
644 N. Santa Cruz Ave. Suite 6 Los Gatos, California 95030 T: 408-219-0601 dg@acadia-architecture.com		
ACADIA-ARCHITECTURE ALL RIGHTS RESERVED <small>ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL, UNPUBLISHED WORK OF ACADIA-ARCHITECTURE AND THE SAME MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF ACADIA-ARCHITECTURE</small>		
		
A 1.3		



GENERAL SHEET NOTES:

1. REFER TO MECHANICAL, ELECTRICAL, AND STRUCTURAL DRAWINGS FOR EXTENT OF MECHANICAL, ELECTRICAL, AND STRUCTURAL WORK.
2. ALL EXTERIOR STUD WALLS SHALL HAVE MIN. R-15 FOIL BACKED INSULATION.
3. REFER TO STRUCTURAL DRAWINGS FOR ALL FRAMING AND STRUCTURAL MEMBER SIZES.
4. PROVIDE FULLY TEMPERED GLAZING, LAMINATED SAFETY GLASS OR APPROVED PLASTIC IN SHOWERS OR BATHTUB ADJACENT WALL OPENINGS WITHIN 60 INCHES ABOVE A STANDING SURFACE AND DRAIN INLET.
5. DOORS AND PANELS OF SHOWER AND BATHTUB ENCLOSURES SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC.
6. PROVIDE TEMPERED GLAZING AT HAZARDOUS LOCATIONS, SUCH AS IN DOORS.
7. TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. PROVIDE MIXING VALVE FOR ALL TUB/SHOWERS
8. PROVIDE PRESSURE RELIEF VALVE WITH DRAIN TO OUTSIDE AT WATER HEATER.
9. INSTALL WINDOWS PER MANUFACTURER'S RECOMMENDATIONS
10. DIMENSIONS ARE TO FINISH OF WALLS U.O.N.
11. MIN. JAMB AT DOORS TO BE 4"

DIMENSIONS NOTES

- 1-CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD AND NOTIFY ARCHITECT OF ANY DISCREPANCY BEFORE ANY CONSTRUCTION
- 2- CONTRACTOR TO STAKE PROPERTY LINES WITH SURVEYOR AND USE SETBACKS FOR ADDITION LAY-OUT

WATER HEATER NOTES:

WATER HEATERS REQUIRE TWO SEISMIC STRAPS; ONE LOCATED WITHIN THE TOP 1/3 OF THE WATER HEATER AND ONE AT THE BOTTOM 1/3. THE BOTTOM STRAP SHALL BE LOCATED AT LEAST 4" AWAY FROM THE HEATER CONTROLS. CPC 508.2

PLUMBING PLAN NOTES:

- A) WATER CLOSETS SHALL HAVE AN AVERAGE WATER CONSUMPTION OF NOT MORE THAN 1.28 GALLONS PER FLUSH. CPC 402.2C
- B) SHOWER HEADS SHALL HAVE A WATER FLOW NOT TO EXCEED 2.5 GALLONS PER MINUTE. CPC 402.1.1
- C) FAUCETS IN KITCHENS, WET BARS, LAVATORIES, LAUNDRY SINKS, ETC. SHALL HAVE A WATER FLOW NOT TO EXCEED 2.2 GALLONS PER MINUTE. CPC 402.1.2

EGRESS NOTES:

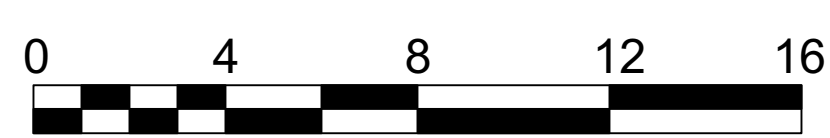
- EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING (R310.1)
 - a) MINIMUM NET CLEAR OPENABLE DIMENSION OF 24" IN HEIGHT (R310.1.2)
 - b) MINIMUM NET CLEAR OPENABLE DIMENSION OF 20" IN WIDTH (R310.1.3)
 - c) MINIMUM NET CLEAR OPENABLE DIMENSION OF 5.7 SQUARE FEET IN AREA. GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET (R310.1.1)
 - d) OPENINGS SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" MEASURED FROM THE FLOOR (R310.1)

STAIRWAY REQUIREMENT

- A. STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH ABOVE THE HANDRAILS. HANDRAIL PROJECTIONS ARE LIMITED TO NOT MORE THAN 4.5 INCHES ON EITHER SIDE OF THE STAIRWAY. (CRC Sec.R311.7.1)
- B. HEADROOM SHALL NOT BE LESS THAN 6 FEET 8 INCHES MEASURED FROM THE SLOPED LINE ADJOINING THE TREAD NOSING. (CRC R311.7.2)
- C. RISER HEIGHT SHALL NOT EXCEED 7 3/4 INCHES. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". (CRC Sec.R311.7.4.1)
- D. TREAD DEPTH (MEASURED BETWEEN THE NOSING) SHALL BE AT LEAST 10 INCHES. THE LARGEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8" (CRC Sec.R311.7.4.2)
- E. NOSING NOT LESS THAN 0.75" BUT NOT MORE THAN 1.25" SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS IF THE TREAD DEPTH IS LESS THAN 11". THE RADIUS OF CURVATURE AT THE NOSING SHALL BE NO GREATER THAN 9/16 INCH. (CRC Sec.R311.7.4.3)
- F. OPEN RISERS ARE PERMITTED, PROVIDED THAT THE OPENING BETWEEN TREADS DOES NOT PERMIT THE PASSAGE OF A 4- INCH DIAMETER SPHERE. THE OPENING BETWEEN ADJACENT TREADS IS NOT LIMITED ON STAIRS WITH A TOTAL RISE OF 30 INCHES OR LESS. (CRC Sec. R311.7.4.3)

GRAPHIC KEY:

- EXISTING WALL TO REMAIN
- NEW FRAMED EXTERIOR / INTERIOR WALL S.S.D.
- FIRE RESISTIVE WALL CONSTRUCTION AT WALLS BETWEEN GARAGE AND LIVABLE SPACE: MIN. 1/2" GYPSUM BOARD TYPE X OVER STUDS FROM CURB TO UNDERSIDE OF ROOF SHEATHING APPLIED TO INTERIOR SIDE OF THE EXTERIOR WALLS



1 1ST FLOOR PLAN
Scale: 1/4" = 1'-0"

Revision	Revision	Revision
----------	----------	----------

PURNAMA RESIDENCE
1832 Channing Ave. Palo Alto CA
FIRST FLOOR PLAN

Sheet Scale - AS NOTED	Drawn By DG	Reviewed By DG	09/11/2015
------------------------	-------------	----------------	------------

Daive Giannella A.I.A.



acadia
architecture

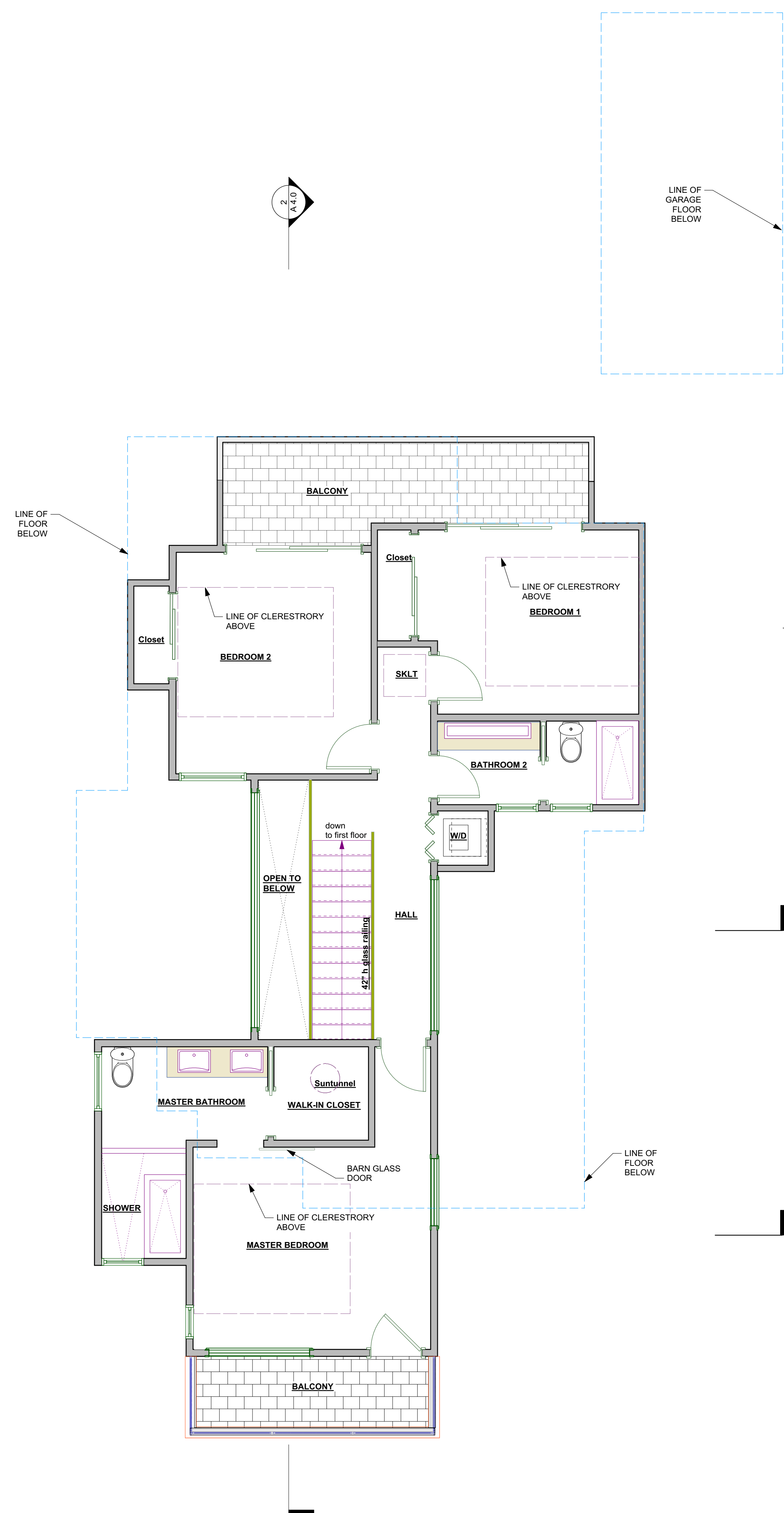
644 N. Santa Cruz Ave. Suite 6
Los Gatos, California 95030
T. 408-219-0601
dg@acadia-architecture.com

ACADIA-ARCHITECTURE
ALL RIGHTS RESERVED

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL UNPUBLISHED WORK OF ACADIA-ARCHITECTURE AND THE SAME MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF ACADIA-ARCHITECTURE



A 2.0



- GENERAL SHEET NOTES:**
1. REFER TO MECHANICAL, ELECTRICAL, AND STRUCTURAL DRAWINGS FOR EXTENT OF MECHANICAL, ELECTRICAL, AND STRUCTURAL WORK.
 2. ALL EXTERIOR STUD WALLS SHALL HAVE MIN. R-15 FOIL BACKED INSULATION.
 3. REFER TO STRUCTURAL DRAWINGS FOR ALL FRAMING AND STRUCTURAL MEMBER SIZES.
 4. PROVIDE FULLY TEMPERED GLAZING, LAMINATED SAFETY GLASS OR APPROVED PLASTIC IN SHOWERS OR BATHTUB ADJACENT WALL OPENINGS WITHIN 60 INCHES ABOVE A STANDING SURFACE AND DRAIN INLET.
 5. DOORS AND PANELS OF SHOWER AND BATHTUB ENCLOSURES SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC.
 6. PROVIDE TEMPERED GLAZING AT HAZARDOUS LOCATIONS, SUCH AS IN DOORS.
 7. TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. PROVIDE MIXING VALVE FOR ALL TUB/SHOWERS.
 8. PROVIDE PRESSURE RELIEF VALVE WITH DRAIN TO OUTSIDE AT WATER HEATER.
 9. INSTALL WINDOWS PER MANUFACTURER'S RECOMMENDATIONS
 10. DIMENSIONS ARE TO FINISH OF WALLS U.O.N.
 11. MIN. JAMB AT DOORS TO BE 4"

- DIMENSIONS NOTES**
- 1-CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD AND NOTIFY ARCHITECT OF ANY DISCREPANCY BEFORE ANY CONSTRUCTION
 - 2- CONTRACTOR TO STAKE PROPERTY LINES WITH SURVEYOR AND USE SETBACKS FOR ADDITION LAY-OUT

- WATER HEATER NOTES:**
- WATER HEATERS REQUIRE TWO SEISMIC STRAPS; ONE LOCATED WITHIN THE TOP 1/3 OF THE WATER HEATER AND ONE AT THE BOTTOM 1/3. THE BOTTOM STRAP SHALL BE LOCATED AT LEAST 4" AWAY FROM THE HEATER CONTROLS. CPC 508.2

- PLUMBING PLAN NOTES:**
- A) WATER CLOSETS SHALL HAVE AN AVERAGE WATER CONSUMPTION OF NOT MORE THAN 1.28 GALLONS PER FLUSH. CPC 402.2C
 - B) SHOWER HEADS SHALL HAVE A WATER FLOW NOT TO EXCEED 2.5 GALLONS PER MINUTE. CPC 402.1.1
 - C) FAUCETS IN KITCHENS, WET BARS, LAVATORIES, LAUNDRY SINKS, ETC. SHALL HAVE A WATER FLOW NOT TO EXCEED 2.2 GALLONS PER MINUTE. CPC 402.1.2

- EGRESS NOTES:**
- EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING (R310.1)
 - a) MINIMUM NET CLEAR OPENABLE DIMENSION OF 24" IN HEIGHT (R310.1.2)
 - b) MINIMUM NET CLEAR OPENABLE DIMENSION OF 20" IN WIDTH (R310.1.3)
 - c) MINIMUM NET CLEAR OPENABLE DIMENSION OF 5.7 SQUARE FEET IN AREA. GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET (R310.1.1)
 - d) OPENINGS SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" MEASURED FROM THE FLOOR (R310.1)

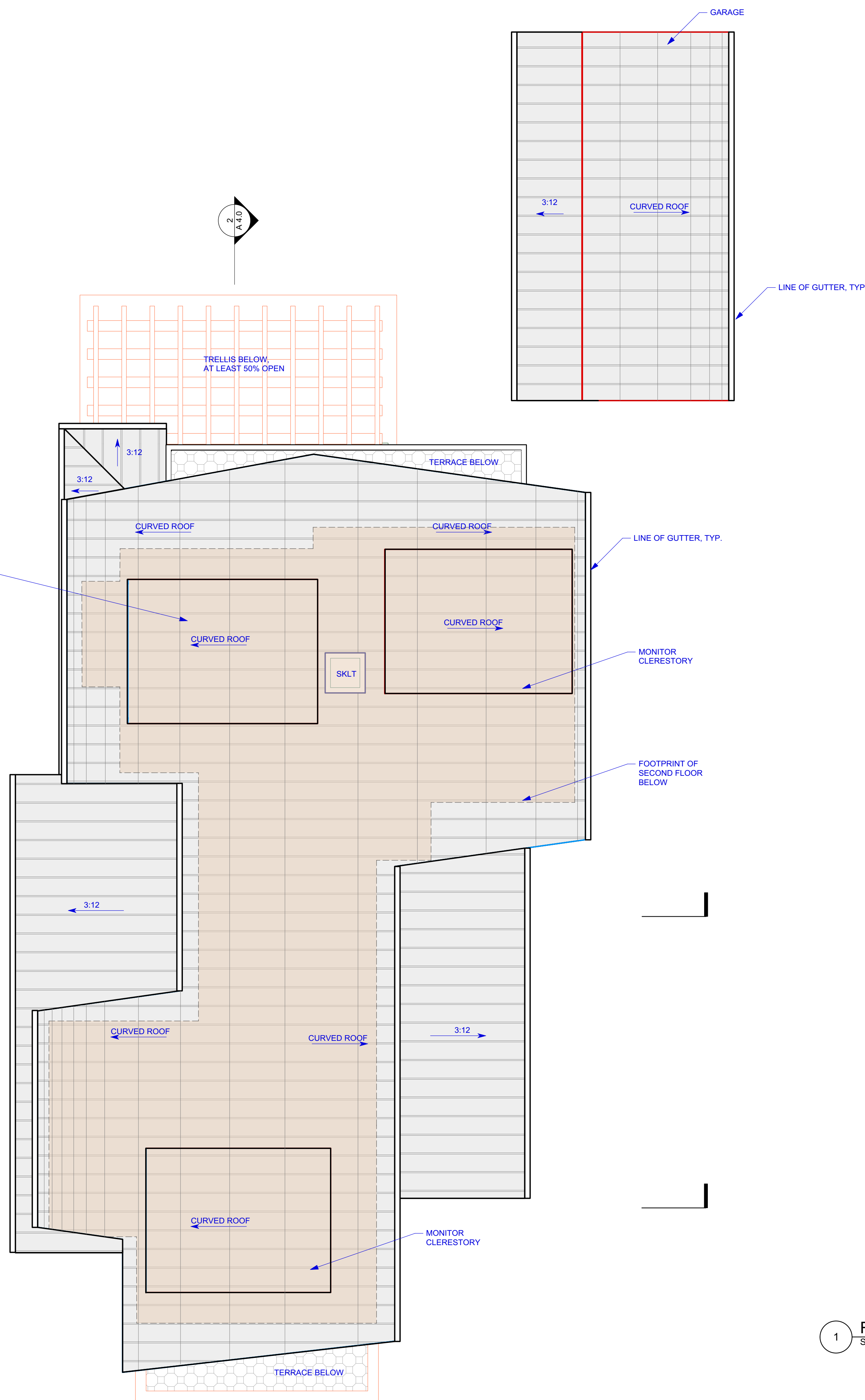
- STAIRWAY REQUIREMENT**
- A. STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH ABOVE THE HANDRAILS. HANDRAIL PROJECTIONS ARE LIMITED TO NOT MORE THAN 4.5 INCHES ON EITHER SIDE OF THE STAIRWAY. (CRC Sec.R311.7.1)
 - B. HEADROOM SHALL NOT BE LESS THAN 6 FEET 8 INCHES MEASURED FROM THE SLOPED LINE ADJOINING THE TREAD NOSING. (CRC R311.7.2)
 - C. RISER HEIGHT SHALL NOT EXCEED 7 3/4 INCHES. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". (CRC Sec.R311.7.4.1)
 - D. TREAD DEPTH (MEASURED BETWEEN THE NOSING) SHALL BE AT LEAST 10 INCHES. THE LARGEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8" (CRC Sec.R311.7.4.2)
 - E. NOSING NOT LESS THAN 0.75" BUT NOT MORE THAN 1.25" SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS IF THE TREAD DEPTH IS LESS THAN 11". THE RADIUS OF CURVATURE AT THE NOSING SHALL BE NO GREATER THAN 9/16 INCH. (CRC Sec.R311.7.4.3)
 - F. OPEN RISERS ARE PERMITTED, PROVIDED THAT THE OPENING BETWEEN TREADS DOES NOT PERMIT THE PASSAGE OF A 4- INCH DIAMETER SPHERE. THE OPENING BETWEEN ADJACENT TREADS IS NOT LIMITED ON STAIRS WITH A TOTAL RISE OF 30 INCHES OF LESS. (CRC Sec. R311.7.4.3)

- GRAPHIC KEY:**
- EXISTING WALL TO REMAIN
 - NEW FRAMED EXTERIOR / INTERIOR WALL S.S.D.
 - FIRE RESISTIVE WALL CONSTRUCTION AT WALLS BETWEEN GARAGE AND LIVABLE SPACE: MIN. 1/2" GYPSUM BOARD TYPE X OVER STUDS FROM CURB TO UNDERSIDE OF ROOF SHEATING APPLIED TO INTERIOR SIDE OF THE EXTERIOR WALLS



1 2ND FLOOR PLAN
Scale: 1/4" = 1'-0"

Revision	Revision	Revision
PURNAMA RESIDENCE 1832 Channing Ave. Palo Alto CA		
Sheet Scale : AS NOTED		Proj. #
Drawn By DG	Reviewed By DG	09/11/2015
Davide Giannella A.I.A.		
644 N. Santa Cruz Ave. Suite 6 Los Gatos, California 95030 T. 408-219-0601 dg@acadia-architecture.com		
ACADIA-ARCHITECTURE ALL RIGHTS RESERVED ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL, UNPUBLISHED WORK OF ACADIA-ARCHITECTURE AND THE SAME MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF ACADIA-ARCHITECTURE		
A 2.1		



ROOF VENTILATION NOTES:

1. ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS AGAINST THE ENTRANCE THE RAIN. VENTILATING OPENINGS SHALL BE PROVIDED WITH CORROSION-RESISTANT WIRE MESH, WITH THE LAST DIMENSION BEING 1/8".
2. THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/300 OF THE AREA OF THE SPACE VENTILATED WITH 50% OF THE REQUIRED VENTILATING AREA PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.
3. WHERE EAVE OR CORNICE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1-INCH SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AT THE LOCATION OF THE VENT.

ROOF DRAINAGE NOTES:

- 1) Roof drains shall be equipped with strainers extending at 4" above the roof deck surface and be at least 1-1/2 times larger than the drainpipe. (CPC 1105.2)
- 2) Where roof surfaces are not designed to drain over roof edges, overflow drains or scuppers three times the size of required roof drains shall be provided. Said drains to be located 2" above the low point of the roof. Overflow drains to be independent of and in addition to surface drains. CBC 1506.3
- 3) Roof drainage water shall not be allowed to flow over public property CBC 1506.5
- 4) Provide splashblocks at each downspout

GRAPHIC KEY:

- DS 3" DIA. 26 GA DOWNSPOUT
- OF 4" D OVERFLOW DRAIN
- DR 2" D DRAIN
- SC THROUGH-WALL SCUPPER
- 5" .032 inch THICK ALUMINUM GUTTER WITH LEAF GUARDS
- ROOF VENTILATOR/ INTAKE VENT
- FLAT EYEBROW ROOF VENT
- STANDING SEAM METAL ROOFING

VAPOR BARRIER NOTE

PROVIDE CLASS 1 OR CLASS 2 VAPOR BARRIER INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING OR PROVIDE VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS PER CRC R806.2

SKYLIGHTS NOTE

PLUMBING VENTS TO BE A MINIMUM OF 10' AWAY FROM, OR AT LEAST 3' ABOVE ANY OPERABLE SKYLIGHTS PER CPC 906.2
 SKYLIGHTS MIN. ENERGY PERFORMANCE: (U= 0.45, SHGC=0.4 MAX PER T24)

1 ROOF PLAN
 Scale: 1/4" = 1'-0"

Revision	Revision	Revision
----------	----------	----------

PURNAMA RESIDENCE
 1832 Channing Ave. Palo Alto CA
 Proj. # ROOF PLAN

Sheet Scale : AS NOTED	Drawn By DG	Reviewed By DG	09/11/2015
------------------------	-------------	----------------	------------

Davide Giannella A.I.A.

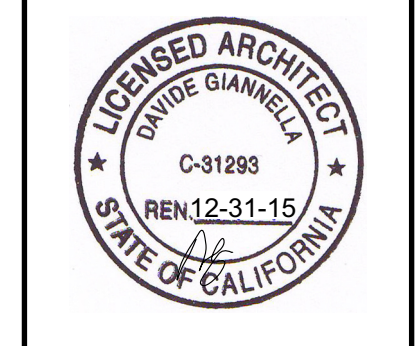


acadia
 architecture

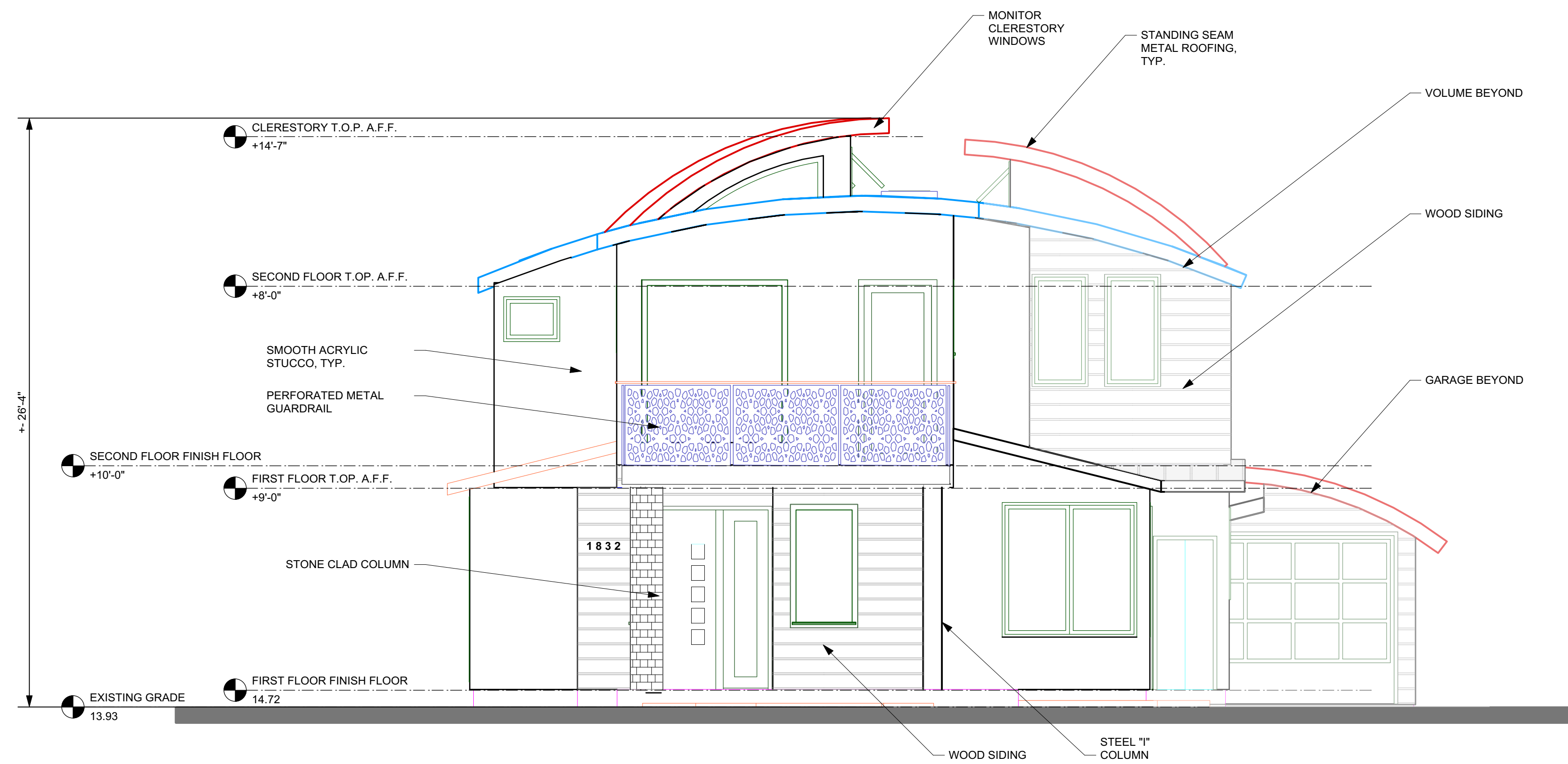
644 N. Santa Cruz Ave. Suite 6
 Los Gatos, California 95030
 T: 408-219-0601
 dg@acadia-architecture.com

ACADIA-ARCHITECTURE
 ALL RIGHTS RESERVED

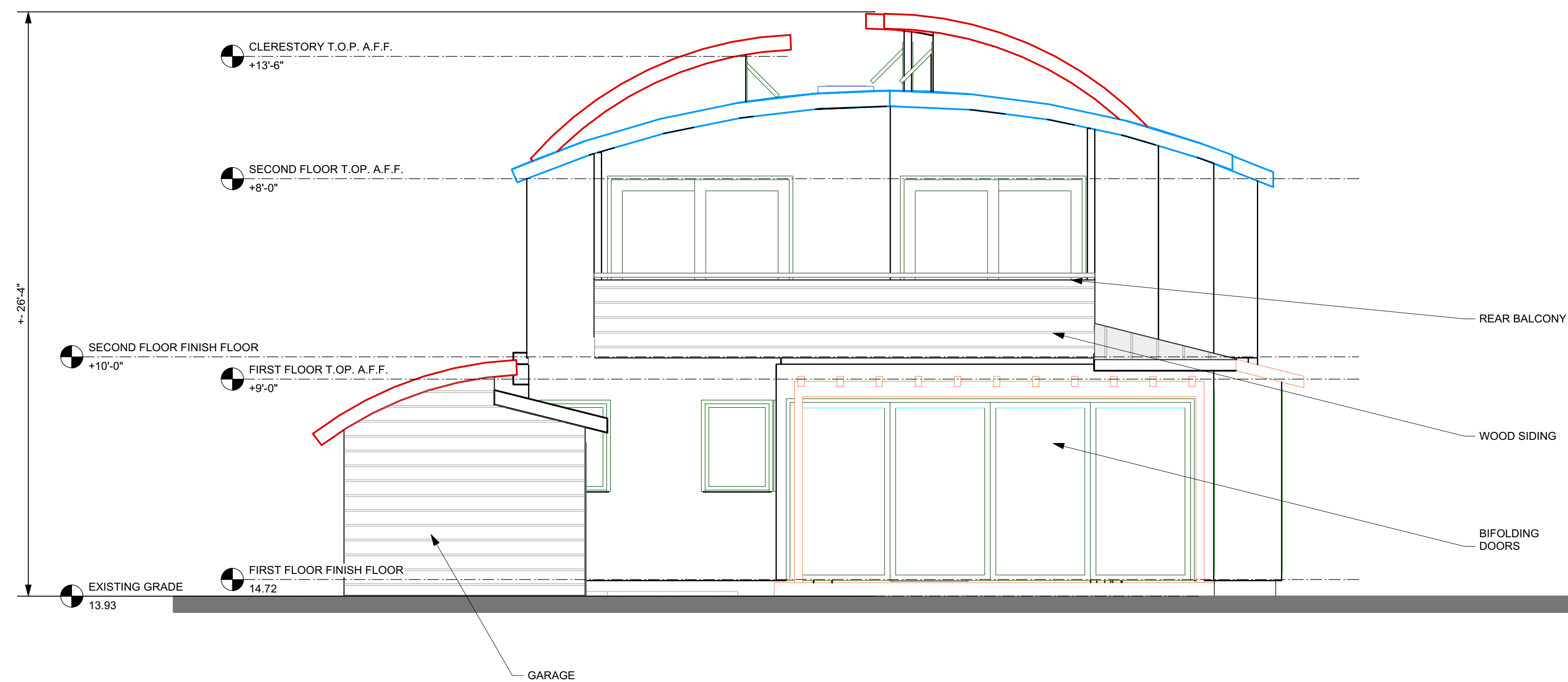
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL UNPUBLISHED WORK OF ACADIA-ARCHITECTURE AND THE SAME MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF ACADIA-ARCHITECTURE



A 2.2



1 NORTH FRONT ELEVATION
Scale: 1/4" = 1'-0"



2 REAR SOUTH ELEVATION
Scale: 1/4" = 1'-0"

Revision
Revision
Revision

PURNAMA RESIDENCE
1832 Channing Ave. Palo Alto CA
Proj. #
EXTERIOR ELEVATIONS

Sheet Scale : AS NOTED
Drawn By DG
Reviewed By DG
09/11/2015

Davide Giannella A.I.A.

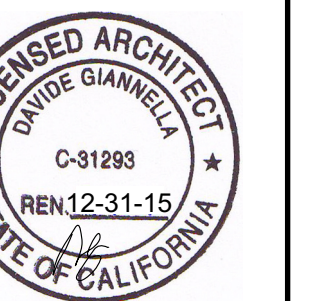


acadia
architecture

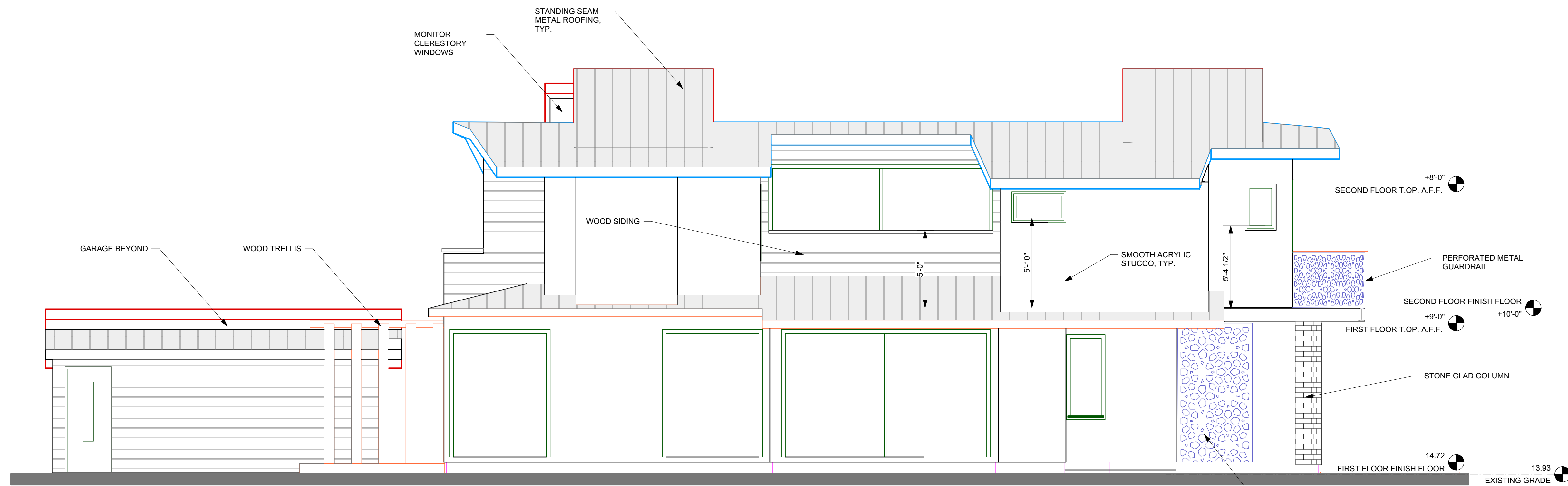
644 N. Santa Cruz Ave. Suite 6
Los Gatos, California 95030
T: 408-219-0601
dg@acadia-architecture.com

ACADIA-ARCHITECTURE
ALL RIGHTS RESERVED

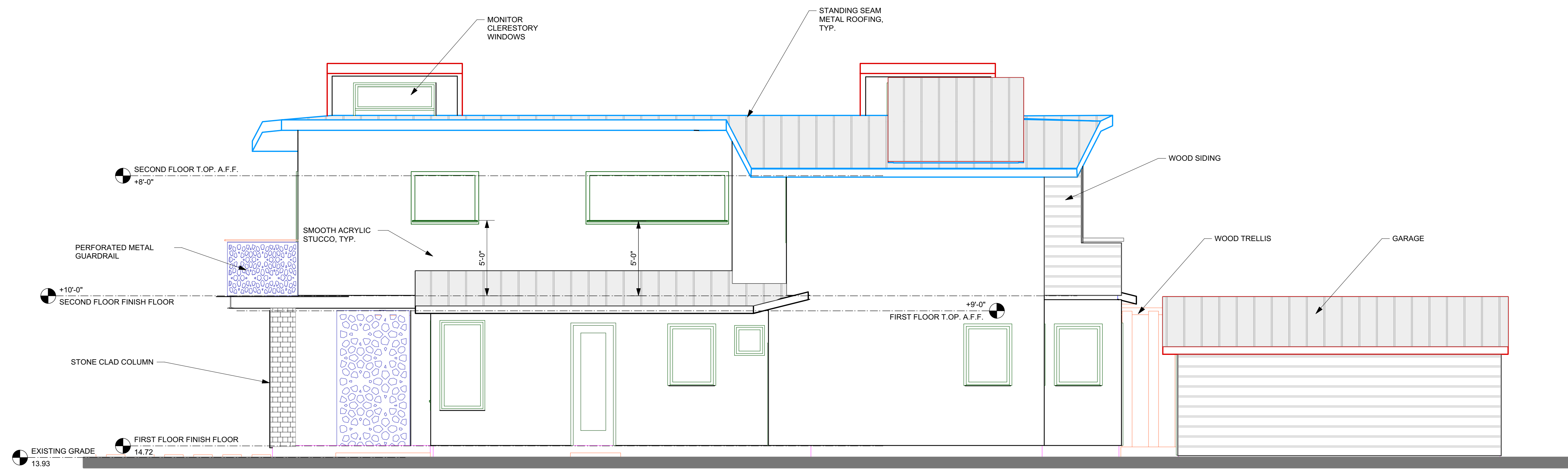
ALL DRAWINGS AND WRITTEN
MATERIAL APPEARING HEREIN
CONSTITUTE THE ORIGINAL,
UNPUBLISHED WORK OF
ACADIA-ARCHITECTURE AND THE
SAME MAY NOT BE DUPLICATED,
USED, OR DISCLOSED WITHOUT
THE WRITTEN CONSENT OF
ACADIA-ARCHITECTURE



A 3.0



1 SIDE EAST ELEVATION
Scale: 1/4" = 1'-0"



2 SIDE WEST ELEVATION
Scale: 1/4" = 1'-0"

Revision	Revision	Revision
----------	----------	----------

PURNAMA RESIDENCE
1832 Channing Ave. Palo Alto CA
EXTERIOR ELEVATIONS
Proj. #

Sheet Scale : AS NOTED	Drawn By DG	Reviewed By DG	09/11/2015
------------------------	-------------	----------------	------------

Davide Giannella A.I.A.

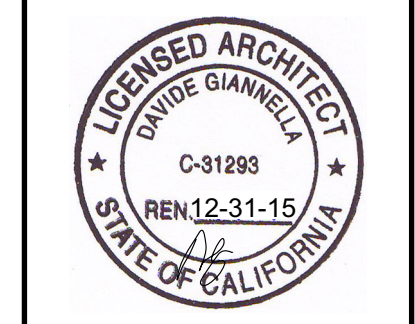


acadia
architecture

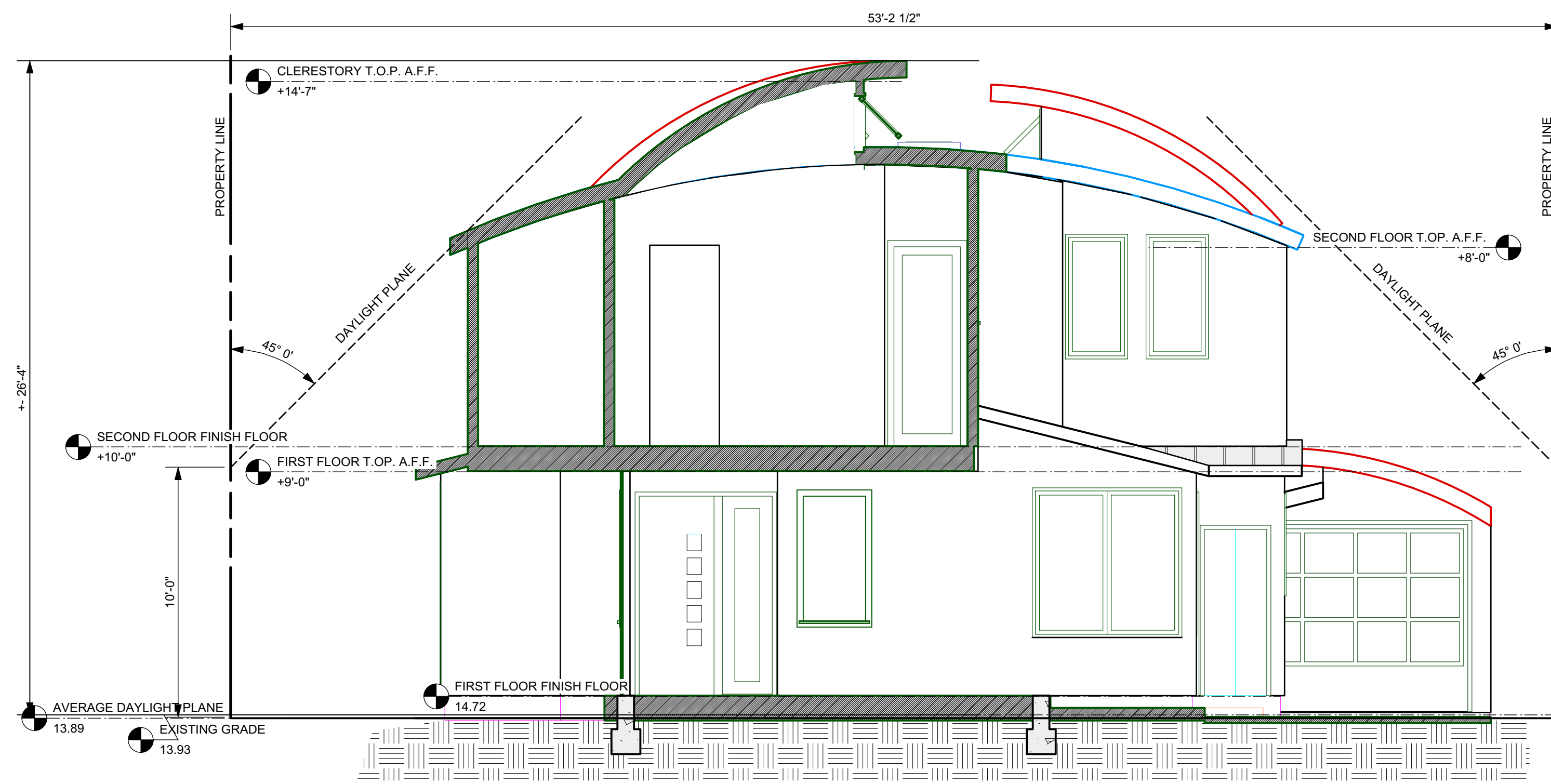
644 N. Santa Cruz Ave. Suite 6
Los Gatos, California 95030
T: 408-219-0601
dg@acadia-architecture.com

ACADIA-ARCHITECTURE
ALL RIGHTS RESERVED

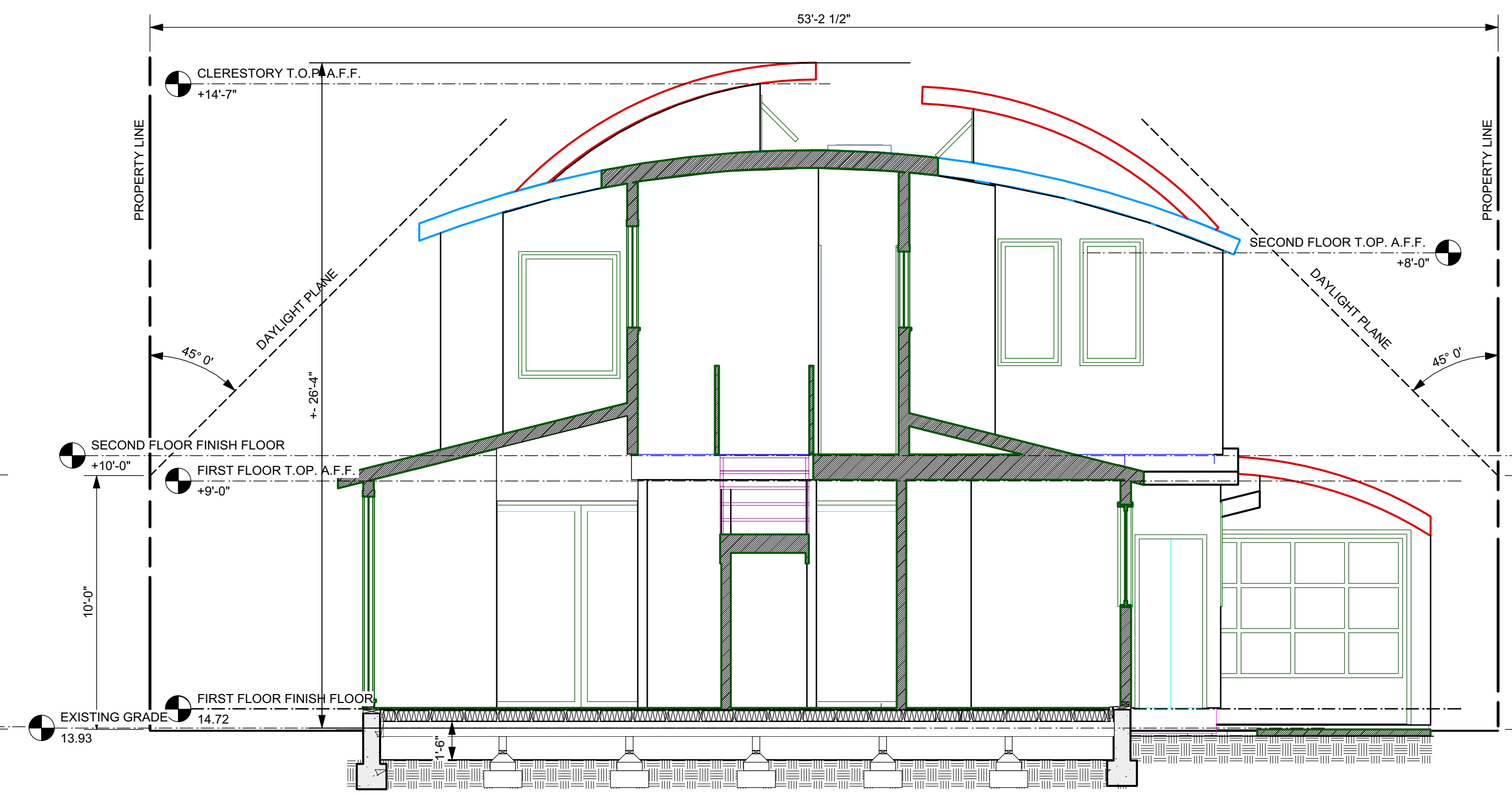
ALL DRAWINGS AND WRITTEN
MATERIAL APPEARING HEREIN
CONSTITUTE THE ORIGINAL,
UNPUBLISHED WORK OF
ACADIA-ARCHITECTURE AND THE
SAME MAY NOT BE DUPLICATED,
USED, OR DISCLOSED WITHOUT
THE WRITTEN CONSENT OF
ACADIA-ARCHITECTURE



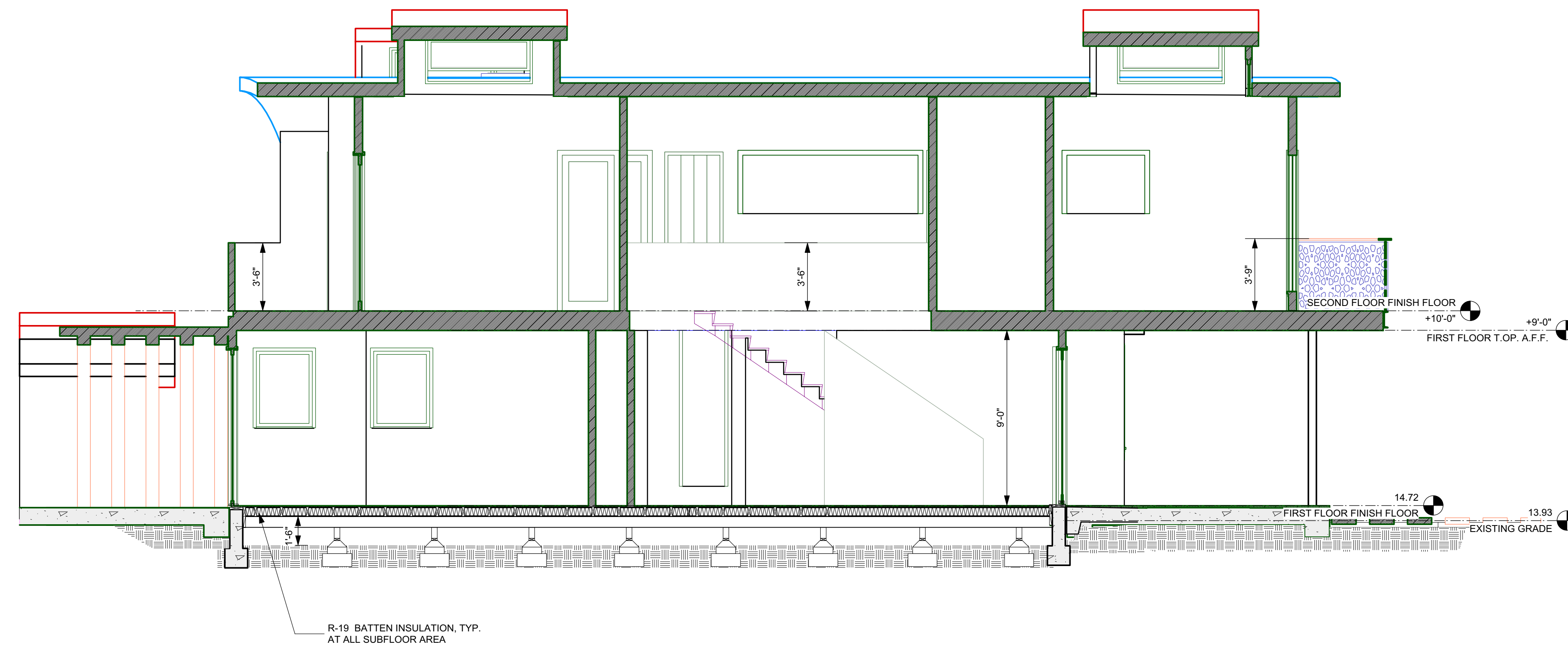
A 3.1



3 Section C-C
Scale: 1/4" = 1'-0"



1 Section A-A
Scale: 1/4" = 1'-0"



2 SECTION B-B
Scale: 1/4" = 1'-0"

Revision
Revision
Revision

PURNAMA RESIDENCE
1832 Channing Ave. Palo Alto CA

Proj. # BUILDING SECTIONS

Sheet Scale : AS NOTED
Drawn By DG
Reviewed By DG
09/11/2015

Daive Giannella A.I.A.

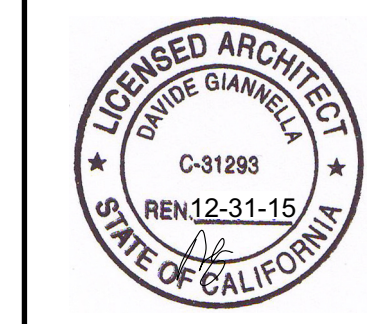


acadia
architecture

644 N. Santa Cruz Ave. Suite 6
Los Gatos, California 95030
T: 408-219-0601
dg@acadia-architecture.com

ACADIA-ARCHITECTURE
ALL RIGHTS RESERVED

ALL DRAWINGS AND WRITTEN
MATERIAL APPEARING HEREIN
CONSTITUTE THE ORIGINAL,
UNPUBLISHED WORK OF
ACADIA-ARCHITECTURE AND THE
SAME MAY NOT BE DUPLICATED,
USED, OR DISCLOSED WITHOUT
THE WRITTEN CONSENT OF
ACADIA-ARCHITECTURE



A 4.0

OWNER Acknowledgement

This project is required to comply with the State California Green Building Code (T24 Part 11) and the City of Palo Alto's local amendments (PAMC 16.14). I, the **property owner** / legal representative, acknowledge and understand the requirements and penalties for noncompliance (\$50 per ton of waste not diverted from the landfill with a minimum of \$1000, and \$500 a day for noncompliance with the remaining green building measures). I am responsible for all activities performed by design team members, contractors and subcontractors in meeting the requirements.

Signature _____ Date _____

Print Full Name _____

Phone or Email _____

RATER Acknowledgement

The project will be verified by (choose only one):

- Build It Green
 City of Palo Alto

Min. required points, greater of: ⁹⁷ ~~34~~ or 70

I have reviewed the project plans and specifications, and they are in conformance with the GreenPoint Rated points claimed. I have reviewed and understand the after construction requirements below.

Yarmila Kewnett
 Rater Signature _____ Date _____

YARMILA KEWNETT BIG-2009-245
 Print Full Name _____ Rater Number _____

YARMILA KEWNETT, NECT
 Phone or Email _____

SECTION TO BE COMPLETED AFTER CONSTRUCTION

After construction is complete submit the following at the City Development Center to schedule your final inspection:

- Construction debris receipts from an approved facility.
- If HERS testing was required per the homes energy report, attach the completed CF-4R (s).
- If there were alterations during construction that impacted the energy report (i.e. R values, U factors, Equipment Types) rerun the report and attach it.
- If the project was City of Palo Alto verified, call for an on-site inspection at 329.2189.

I certify that:
 GreenPoint Rated inspections were performed throughout construction;

The home has met the minimum required GreenPoint Rated points. Those required for landscaping may be excluded from this confirmation if verified within 6 months of final inspection;

Through a combination of onsite inspections and confirmation from the Contractor there have been no alterations that impacted the energy report for the home, unless the new report is provided as an attachment; and that

Within six months (6) from the date of final inspection I will provide the City with the final BIG Certificate, final GreenPoint Rated Checklist and BIG Climate Calculator inputs.

Signature (GreenPoint Rater) _____
 Sign only after construction is completed.

Print Name _____ Date _____

PURNAMA RESIDENCE
 1832 CHANNING AVE.
 PALO ALTO

Project Name	Rater Name	Rater Number	Planning Score Sheet	Points Available	Points Achieved	Percentage
Build # Green	GreenPoint Rated Single Family New Home Data Collection Form version 4.2	Page 1 of 9				

Project Name	Rater Name	Rater Number	Planning Score Sheet	Points Available	Points Achieved	Percentage
Build # Green	GreenPoint Rated Single Family New Home Data Collection Form version 4.2	Page 2 of 9				

Project Name	Rater Name	Rater Number	Planning Score Sheet	Points Available	Points Achieved	Percentage
Build # Green	GreenPoint Rated Single Family New Home Data Collection Form version 4.2	Page 3 of 9				

Project Name	Rater Name	Rater Number	Planning Score Sheet	Points Available	Points Achieved	Percentage
Build # Green	GreenPoint Rated Single Family New Home Data Collection Form version 4.2	Page 4 of 9				

Project Name	Rater Name	Rater Number	Planning Score Sheet	Points Available	Points Achieved	Percentage
Build # Green	GreenPoint Rated Single Family New Home Data Collection Form version 4.2	Page 5 of 9				

Project Name	Rater Name	Rater Number	Planning Score Sheet	Points Available	Points Achieved	Percentage
Build # Green	GreenPoint Rated Single Family New Home Data Collection Form version 4.2	Page 6 of 9				

Project Name	Rater Name	Rater Number	Planning Score Sheet	Points Available	Points Achieved	Percentage
Build # Green	GreenPoint Rated Single Family New Home Data Collection Form version 4.2	Page 7 of 9				

Project Name	Rater Name	Rater Number	Planning Score Sheet	Points Available	Points Achieved	Percentage
Build # Green	GreenPoint Rated Single Family New Home Data Collection Form version 4.2	Page 8 of 9				

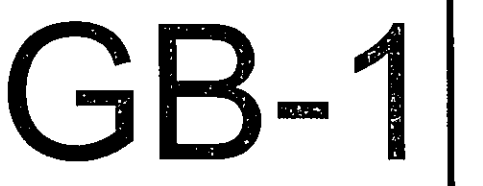
Project Name	Rater Name	Rater Number	Planning Score Sheet	Points Available	Points Achieved	Percentage
Build # Green	GreenPoint Rated Single Family New Home Data Collection Form version 4.2	Page 9 of 9				



RESIDENTIAL GREEN BUILDING APPLICATION R1

Title 24, Part 11, California Green Building Code (CALGreen) City of Palo Alto Green Building Ordinance 5107 (PAMC 16.14) City of Palo Alto Green Building Program and Resources Build It Green, GreenPoint Rated Guidelines and Checklists

City Sustainability Planner: 650-329-2189 greenbuilding@cityofpaloalto.org Application: This plan sheet is for use by residential new construction, additions and rebuilds over 1,250sf.





MOSAIC TILE CLAD
ENTRY COLUMN

STAINED CONCRETE
LANDING

LIGHT CEDAR
WOOD SIDING



PERFORATED METAL
GUARDRAIL

MONITOR
CLERESTORY
WINDOWS

IPE WOOD ENTRY STEPS

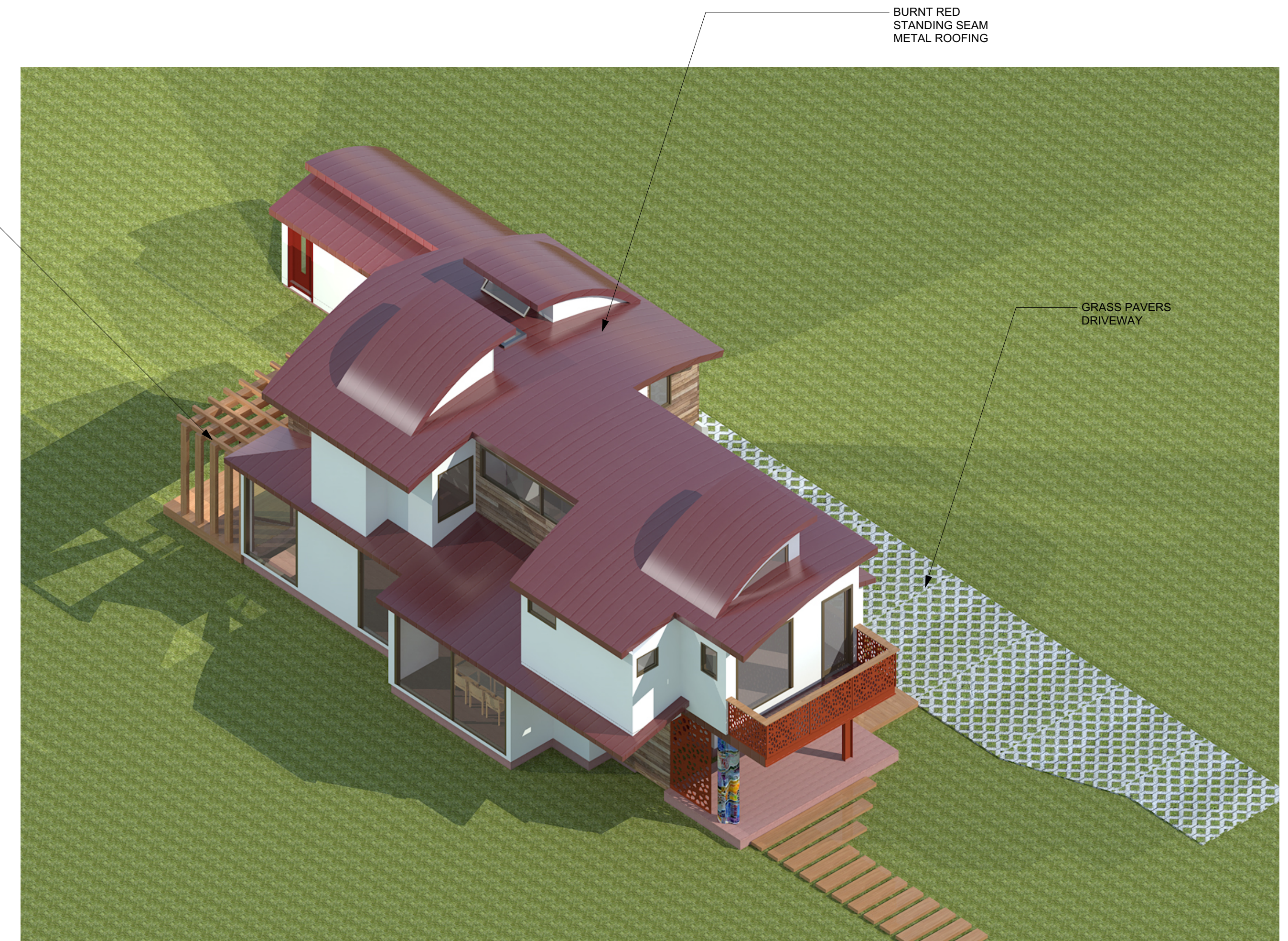
STEEL "I"
COLUMN



SMOOTH ACRYLIC
STUCCO, TYP.

WOOD TRELLIS

PERFORATED METAL
PORCH SCREEN



BURNT RED
STANDING SEAM
METAL ROOFING

GRASS PAVERS
DRIVEWAY

Revision	Revision	Revision
----------	----------	----------

PURNAMA RESIDENCE
1832 Channing Ave. Palo Alto CA
Proj. # Material Board

Sheet Scale : AS NOTED	Drawn By DG	Reviewed By DG	09/11/2015
------------------------	-------------	----------------	------------

Davide Giannella A.I.A.

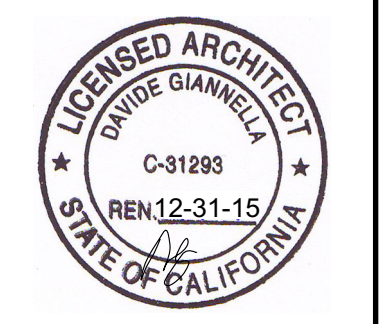


acadia
architecture

644 N. Santa Cruz Ave. Suite 6
Los Gatos, California 95030
T: 408-219-0601
dg@acadia-architecture.com

ACADIA-ARCHITECTURE
ALL RIGHTS RESERVED

ALL DRAWINGS AND WRITTEN
MATERIAL APPEARING HEREIN
CONSTITUTE THE ORIGINAL,
UNPUBLISHED WORK OF
ACADIA-ARCHITECTURE AND THE
SAME MAY NOT BE DUPLICATED,
USED, OR DISCLOSED WITHOUT
THE WRITTEN CONSENT OF
ACADIA-ARCHITECTURE



MB

City of Palo Alto Tree Protection - It's Part of the Plan!

Make sure your crews and subs do the job right!

Fenced enclosures around trees are essential to protect them by keeping the foliage canopy and branching structure clear from contact by equipment, materials and activities, preserving roots and soil conditions in an intact and non-compacted state, and identifying the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved. **An approved tree protection report must be added to this sheet when project activity occurs within the TPZ of a regulated tree.** For detailed information on Palo Alto's regulated trees and protection during development, review the **City Tree Technical Manual (TTM)** found at www.cityofpaloalto.org/trees/.

TREE DISCLOSURE STATEMENT

CITY OF PALO ALTO
Planning Division, 250 Hamilton Avenue
Palo Alto, CA 94301
(650) 329-2441
<http://www.cityofpaloalto.org>

Palo Alto Municipal Code, Chapter 8.10.040, requires disclosure and protection of certain trees located on private and public property, and that they be shown on approved site plans. A completed disclosure statement must accompany all building permit applications that include exterior work, all demolition or grading permit applications, or other development activity.

PROPERTY ADDRESS: 1832 CHANNING AVE.

Are there Regulated trees on or adjacent to the property? **YES** NO (If no, proceed to Section 4)

[Sections 1 - 4 MUST be completed by the applicant. Please circle and/or check where applicable.]

1. Where are the trees? Check those that apply. (Plans must be submitted showing over 4" diameter trees)

On the property
 On adjacent property overhanging the project site
 In the City planter strip or right-of-way easement within 30' of property line (Street Trees)*

*Street trees require special protective by a fenced enclosure, per the attached instructions. Prior to receiving any permit, you must provide an authorized Street Tree Protection Verification form by calling Public Works Operations at 493-5953 for inspection of required type I, II or III fencing (see attached Detail #605).

2. Are there any Protected or Designated Trees? Check where applicable **NO**

Protected Tree (s)
 Designated Tree (s)
 On or overhanging the property

3. Is there active or grading within the dripline? (radius 10 times the trunk diameter) of these trees? **YES** **NO**

If Yes, a **Tree Preservation Report** must be prepared by an ISA certified arborist and submitted for staff review (see TTM - Section 6.25). Attach this report to Sheet T-1, "Tree Protection, in Part of the Plan", per Site Plan Requirements.

4. Are the Site Plan Requirements** completed? **YES** **NO**

**Protection of Regulated trees during development requires the following: (1) Plans must show the measured trunk diameter and canopy dripline; (2) Plans must denote, as a bold dashed line, a fenced enclosure area out to the dripline, per Sheet T-1 and Detail #605 - <http://www.cityofpaloalto.org/trees/forms.htm> (See also TTM - Section 2.15 for area to be fenced)

I, the undersigned, agree to the conditions of this disclosure. I understand that knowingly or negligently providing false or misleading information in response to this disclosure requirement constitutes a violation of the Palo Alto Municipal Code Section 8.10.040, which can lead to criminal and/or civil legal action.

Signature: Daive Giannella Date: 9/10/2015
(Prop, Owner or Agent) Print: Daive Giannella

FOR STAFF USE:

Protective Fencing
Sections 5-6 must be completed by staff for the issuance of any development permit (demolition, grading or building permit).

5. Protected Trees. The specified tree fencing is in place. A written statement is attached verifying that protective fencing is correctly in place around protected and/or designated trees. **YES** **NO**

(N/A if there are no protected trees, check here)

6. Street Trees. A signed Public Works Street Tree Protection Verification form is attached. **YES** **NO**

(N/A if there are no street trees, check here)

Regulated Trees - a) Street trees - trees on public property; b) Protected trees - Coast Live Oaks or Valley Oaks which are 11.5" in diameter or larger, Coast Redwoods which are 18" in diameter or larger, when measured 54" above natural grade; and Heritage trees are trees designated by City Council; and c) Designated Trees - commercial or non-residential property trees, which are part of an approved landscape plan.

Palo Alto Tree Technical Manual (TTM) contains instructions for all requirements on this form, available at <http://www.cityofpaloalto.org/planning-community-environment/technical-manual.html>

S:\Plan\Plan\Arborist\Tree Protection Info\Tree Disclosure Statement Revised 08/06

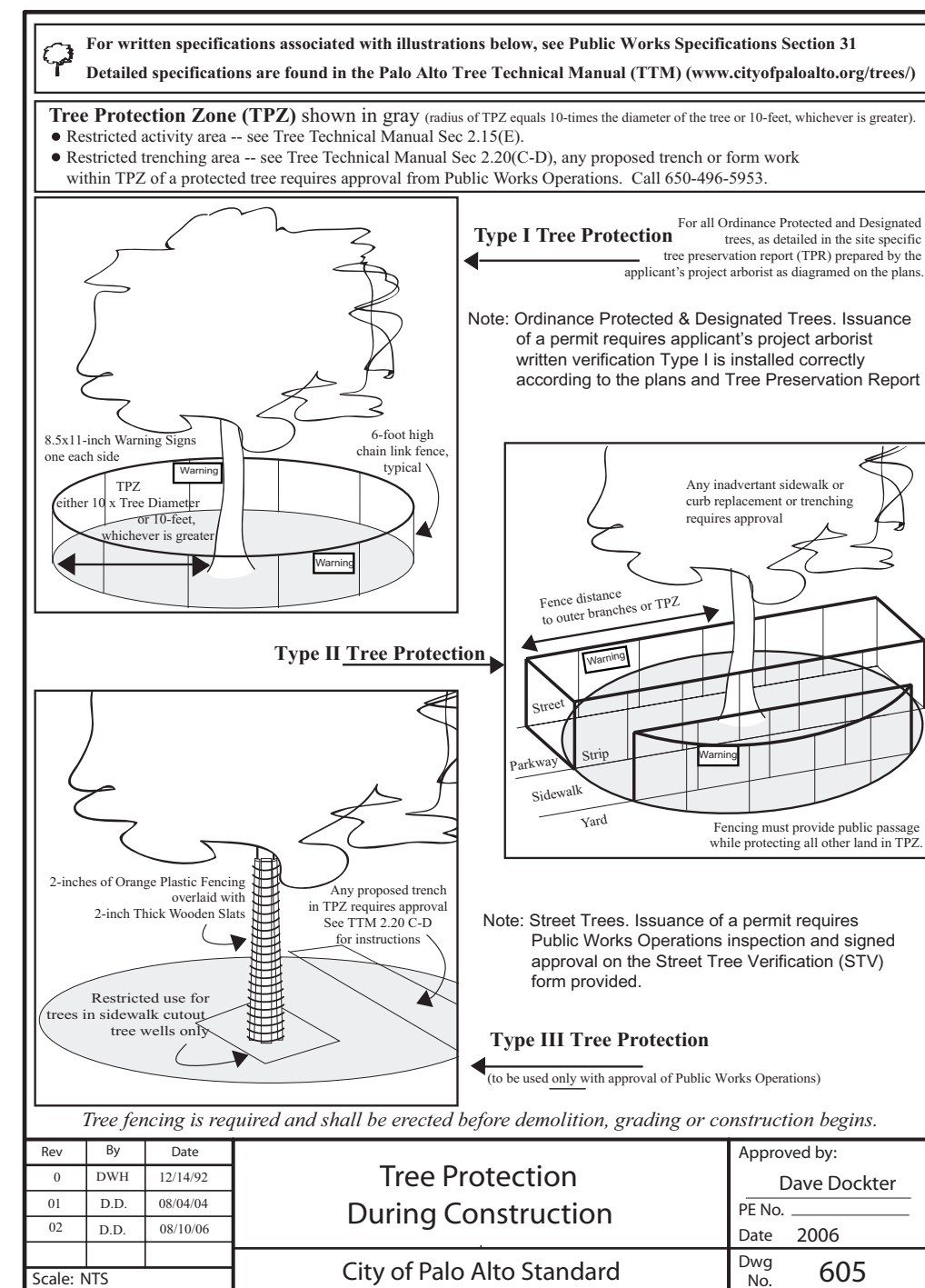


Table 2-2 Palo Alto Tree Technical Manual

CONTRACTOR & ARBORIST INSPECTION SCHEDULE

Reference: the Palo Alto Tree Technical Manual is available at www.cityofpaloalto.org/entrainment/

ALL CHECKED ITEMS APPLY TO THIS PROJECT:

- Inspection of Protective Tree Fencing:** For Public Trees, the Street Tree Verification Form shall be signed by the City Arborist. For Protected Trees, the project site arborist shall provide a signed Monthly Tree Activity Report form with a photograph verifying that he has conducted a field inspection of the trees and that the correct type of protective fencing is in place around the designated tree protection zone (TPZ) prior to issuance of a demolition, grading, or building permit. (See TTM, Verification of Tree Protection, Section 1.39)
- Pre-Construction Meeting:** Prior to commencement of construction, the applicant or contractor shall conduct a pre-construction meeting to discuss tree protection with the job site superintendent, grading operators, project site arborist, City Arborist, and, if a city maintained irrigation system is involved, the Parks Manager. (Contact 650-496-6962)
- Inspection of Rough Grading or Trenching:** Contractor shall ensure the project site arborist performs an inspection during the course of rough grading or trenching adjacent to or within the TPZ to ensure trees will not be injured by compaction, cut or fill, drainage and trenching, and if required, inspect irrigation systems, tree wells, drains and special paving. The contractor shall provide the project arborist at least 24 hours advance notice of such activity.
- Monthly Tree Activity Report Inspections:** The project site arborist shall perform a minimum monthly activity inspection to monitor and advise on conditions, tree health and retention or, immediately if there are any violations to the approved plans or protection measures. The Tree Technical Manual Monthly Tree Activity Report format shall be used and sent to the Planning Dept. landscape review staff no later than 14 days after issuance of building permit. Fax to (650) 329-2154. (See TTM, Monthly Tree Activity Inspection Report, Addendum 11 & section 1.17)
- Special activity within the Tree Protection Zone:** Work in the TPZ area (see also #7 below) requires the direct onsite supervision of the project arborist (see TTM, Trenching, Excavation & Equipment, Section 2.20 c).
- Landscape Architect Inspection:** For discretionary development projects, prior to temporary or final occupancy the applicant or contractor shall arrange for the Landscape Architect to perform an on site inspection of all plant stock, quality of the materials and planting (see TTM, Planning Quality, Section 2.20.1 a) and that the irrigation is functioning consistent with the approved construction plans. The Planning Dept. landscape review staff shall be in receipt of written verification of Landscape Architect approval prior to scheduling the final inspection, unless otherwise approved.
- List Other (please describe as called out in the site Tree Preservation Report, Sheet T-1, T-2, etc.)**

City of Palo Alto Tree Department
Public Works Operations
PO Box 10250 Palo Alto, CA 94303
650-494-5953 FAX 650-862-0289
treeprotect@CityOfPaloAlto.org

Verification of Street Tree Protection

Applicant Instructions: Complete upper portion of this form. Mail or FAX this form along with signed Tree Disclosure Statement to the Palo Alto Tree Department, Public Works Dept. Public Works Tree Staff will inspect and notify applicant.

APPLICATION DATE: _____

ADDRESS/LOCATION OF STREET TREES TO BE PROTECTED: _____

APPLICANT'S NAME: _____

APPLICANT'S ADDRESS: _____

APPLICANT'S TELEPHONE & FAX NUMBERS: _____

This section to be filled out by City Tree Staff

1. The Street Trees at the above address(es) are adequately protected. The type of protection used is: YES NO*

* If NO, go to #2 below

Inspected by: _____
Date of Inspection: _____

2. The Street Trees at the above address are NOT adequately protected. The following modifications are required: _____

Indicate how the required modifications were communicated to the applicant: _____

Subsequent Inspection
Street trees at above address were found to be adequately protected: YES NO*

* If NO, indicate in "Notes" below the disposition of case.

Inspected by: _____
Date of Inspection: _____

Notes: List City street trees by species, site, condition and type of tree protection installed. Also note if pictures were taken. Use back of sheet if necessary.

Return approved sheet to Applicant for demolition or building permit issuance.
S:\PWC\Tree\CGS2\TreeProt\ 5/17/06

Arborist Firm Data Here City of Palo Alto Tree Technical Manual ADDENDUM 11
B.C.A.T.A. Certified Arborist #978-200 Contact Call#

Monthly Tree Activity Report- Construction Site

Inspection Date:	Site address:	Contractor- Main Site Contact Information	#1 Job site superintendent Company: Email: Job site Office: Cell: Mail:
Inspection #	Palo Alto, CA		
		Also present:	
Distribution:	1 City of Palo Alto 2 Others	Attn: Dave Dockter	dave.dockter@cityofpaloalto.org 650-329-2440

Provide the requested minimum information with each report, customize as necessary. To be completed by project site arborist. Send monthly to city arborist at above address until project completion. Use additional sheets as needed.

- Assignment Activity (Demolition/grading/sewer/trenching/foundation list relevant visits)
 - Pre-construction meeting requirement with sub-contractors
 - Inspect to verify that tree protection measures are in place
 - Determine if field adjustments, watering or plan revisions may be needed
- Field Observations (general site-wide and list by individual tree number)
 - Tree Protection Fences (TPF) are ...
 - Trenching has/will occur ...
- Action Items (list site-wide, by tree number and date to be satisfied) and Date Due
 - Tree Protection Fence (TPF) needs adjusting (tree #, x, y, z)
 - Root zone buffer material (wood chips) can be installed next
 - Schedule sewer trench, foundation dg with ...
- Photographs (use often)
- Tree Location Map (mandatory 8.5 x 11 sheet)
- Recommendations, notes or monitor items for project/staff/update

Respectfully submitted,
Project site arborist
Consultant contact information (include email, cell#, and mailing)
CC: _____
Enter Date: _____ CPA Monthly Tree Activity Report: Type site address here Page #1 of 1

---WARNING---
Tree Protection Zone

This fencing shall not be removed without City Arborist approval (650-496-5953)

Removal without permission is subject to a \$500 fine per day*

*Palo Alto Municipal Code Section 8.10.110

City of Palo Alto Tree Protection Instructions are located at <http://www.cityofpaloalto.ca.us/trees/technical-manual.html>

SPECIAL INSPECTIONS **PLANNING DEPARTMENT**

TREE PROTECTION INSPECTIONS MANDATORY

PAMC 8.10 PROTECTED TREES: CONTRACTOR SHALL ENSURE PROJECT SITE ARBORIST IS PERFORMING REQUIRED TREE INSPECTION AND SITE MONITORING. PROVIDE WRITTEN MONTHLY TREE ACTIVITY REPORTS TO THE PLANNING DEPARTMENT LANDSCAPE REVIEW STAFF BEGINNING 14 DAYS AFTER BUILDING PERMIT ISSUANCE.

BUILDING PERMIT DATE: _____
DATE OF 1ST TREE ACTIVITY REPORT: _____
CITY STAFF: _____

REPORTING DETAILS OF THE MONTHLY TREE ACTIVITY REPORT SHALL CONFORM TO SHEET T-1 FORMAT. VERIFY THAT ALL TREE PROTECTION MEASURES ARE IMPLEMENTED AND WILL INCLUDE ALL CONTRACTOR ACTIVITY, SCHEDULED OR UNSCHEDULED, WITHIN A TREE PROTECTION ROOT ZONE. NON-COMPLIANCE IS SUBJECT TO VIOLATION OF PAMC 8.10.080. REFERENCE: PALO ALTO TREE TECHNICAL MANUAL, SECTION 2.00 AND ADDENDUM 11.

Apply Tree Protection Report on sheet(s) T-2
Use additional "T" sheets as needed

PALO ALTO STREET TREE PROTECTION INSTRUCTIONS -SECTION 31-

31.1 **General**

- Tree protection has three primary functions: 1) to keep the foliage canopy and branching structure clear from contact by equipment, materials and activities; 2) to preserve roots and soil conditions in an intact and non-compacted state and 3) to identify the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved.
- The Tree Protection Zone (TPZ) is a restricted area around the base of the tree with a radius of ten-times the diameter of the tree's trunk or ten feet, whichever is greater, enclosed by fencing.

31.2 **Reference Documents**

- Detail #65 - Illustration of situations described below.
- Tree Technical Manual (TTM) Form (<http://www.cityofpaloalto.org/trees/>)
 - Trenching Protection Zones (TTM, Section 2.20C)
 - Arborist Reporting Protocol (TTM, Section 6.39)
 - Site Plan Requirements (TTM, Section 1.3)
 - Tree Disclosure Statement (TTM, Appendix J)
- Street Tree Verification (STV) Form (<http://www.cityofpaloalto.org/trees/forms>)

31.3 **Execution**

- Type I Tree Protection:** The fence shall enclose the entire TPZ of the tree(s) to be protected through the life of the construction project. In some parking areas, if fencing is located on paving or concrete that will not be demolished, then the posts may be supported by an appropriate grade-level concrete base, if approved by Public Works Operations.
- Type II Tree Protection:** For trees situated within a planting strip, only the planting strip and yard side of the TPZ shall be enclosed with the required chain link protective fencing in order to keep the sidewalk and street open for public use.
- Type III Tree Protection:** To be used only with approval of Public Works Operations. Trees situated in a tree well or sidewalk planter pit, shall be wrapped with 2-inches of orange plastic fencing from the ground to the first branch and overlaid with 2-inch thick wooden slats bound securely (slats shall not be allowed to dig into the bark). During installation of the plastic fencing, caution shall be used to avoid damaging any branches. Major limbs may also require plastic fencing as directed by the City Arborist.
- Signs, type and area to be used:** All trees to be protected shall be protected with (6") foot high chain link fences. Fences are to be mounted on two-inch diameter galvanized iron posts, driven into the ground to a depth of at least 1.5 feet at a maximum 10-foot spacing. Fencing shall extend to the outer branching, unless specifically approved on the STV Form.
- Warning signs:** A warning sign shall be weather proof and prominently displayed on each fence at 20-foot intervals. The sign shall be minimum 8.5 inches x 11 inches and clearly state in half inch tall letters: "WARNING - Tree Protection Zone - This fence shall not be removed and is subject to a fine according to PAMC Section 8.10.110"
- Duration:** Tree fencing shall be erected before demolition, grading or construction begins and remain in place until final inspection of the project, except for work specifically allowed in the TPZ. Work or soil disturbance in the TPZ requires approval by the project arborist or City Arborist (in the case of work around Street Trees). Excavations within the public right of way require a Street Work Permit from Public Works.

31.4 **During construction**

- All neighbors' trees that overhang the project site shall be protected from impact of any kind.
- The applicant shall be responsible for the repair or replacement plus penalty of any publicly owned trees that are damaged during the course of construction, pursuant to Section 8.04.070 of the Palo Alto Municipal Code.
- The following tree preservation measures apply to all trees to be retained:
 - No storage of material, tools, vehicles or equipment shall be permitted within the TPZ.
 - The ground under and around the tree canopy area shall not be altered.
 - Trees to be retained shall be irrigated, mulched and maintained as necessary to ensure survival.

END OF SECTION
City of Palo Alto 2004 Standard Drawings and Specifications
Street Tree Verification of Protection, PWE, Section 31
Revised 08/06

City of Palo Alto
250 Hamilton Avenue, Palo Alto, CA 94301

Search: _____ Advanced _____ Browse By Topic _____

Home > Planning & Community Environment

Tree Technical Manual

To purchase the Tree Technical Manual

June, 2001 First Edition

View by section:

- Table of Contents (PDF, 87KB)
- Intent and Purpose (PDF, 1.05MB)
- Introduction - Use of Manual (PDF, 1.05MB)
- Section 1.0 - Definitions (PDF, 96KB)
- Section 2.0 - Protection of Trees During Construction (PDF, 259KB)
- Section 3.0 - Removal, Replacement & Planting of Trees (PDF, 117KB)
- Section 4.0 - Hazardous Trees (PDF, 105KB)
- Section 5.0 - Tree Maintenance Guidelines (PDF, 110KB)
- Section 6.0 - Tree Reports (PDF, 84KB)

View All sections:


- Tree Technical Manual - Full (PDF, 1.44MB)

APPENDICES

- Palo Alto Municipal Code Chapter 8.10., Tree Preservation & Management Regulations
- Tree City - USA
- ISA Hazard Evaluation Form
- ISA Tree Pruning Guidelines (Reference source)
- ISA Tree Pruning Guidelines (PDF, 1.89MB)
- Tree Care Safety Standards, ANSI Z13.3, 1-1994 (Reference source)
- Pruning Performance Standards, ANSI A300-1995 (Reference source)
- Tree Planting Details, Diagram 504 & 505
- Tree Disclosure Statement
- Palo Alto Standard Tree Protection Instructions

T-1

All other tree-related reports shall be added to the space provided on this sheet (adding as needed). Include this sheet(s) on Project Sheet Index or Legend Page. A copy of T-1 can be downloaded at <http://www.cityofpaloalto.org/civica/filebank/blobload.asp?BlobID=6460>



Special Tree Protection Instruction Sheet
City of Palo Alto



T-1



Revision _____

Revision _____

Revision _____

PURNAMA RESIDENCE
1832 Channing Ave. Palo Alto CA

TREE PROTECTION

Sheet Scale: AS NOTED


Drawn By: DG

Reviewed By: DG

09/11/2015

Proj. # _____

Daive Giannella A.I.A.




acadia architecture

644 N. Santa Cruz Ave. Suite 6
Los Gatos, California 95030
T. 408-219-0601
dg@acadia-architecture.com

ACADIA-ARCHITECTURE
ALL RIGHTS RESERVED

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL UNPUBLISHED WORK OF ACADIA-ARCHITECTURE AND THE SAME MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF ACADIA-ARCHITECTURE



T-1